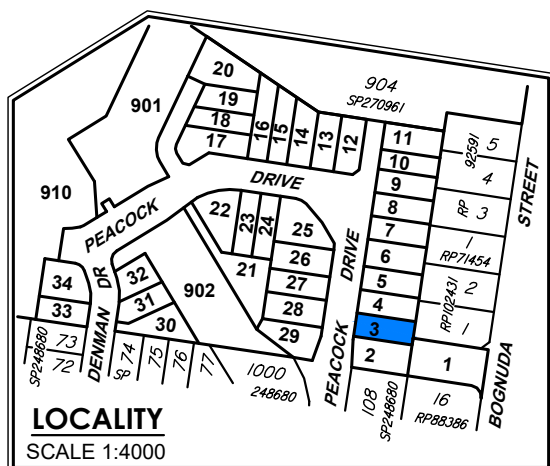
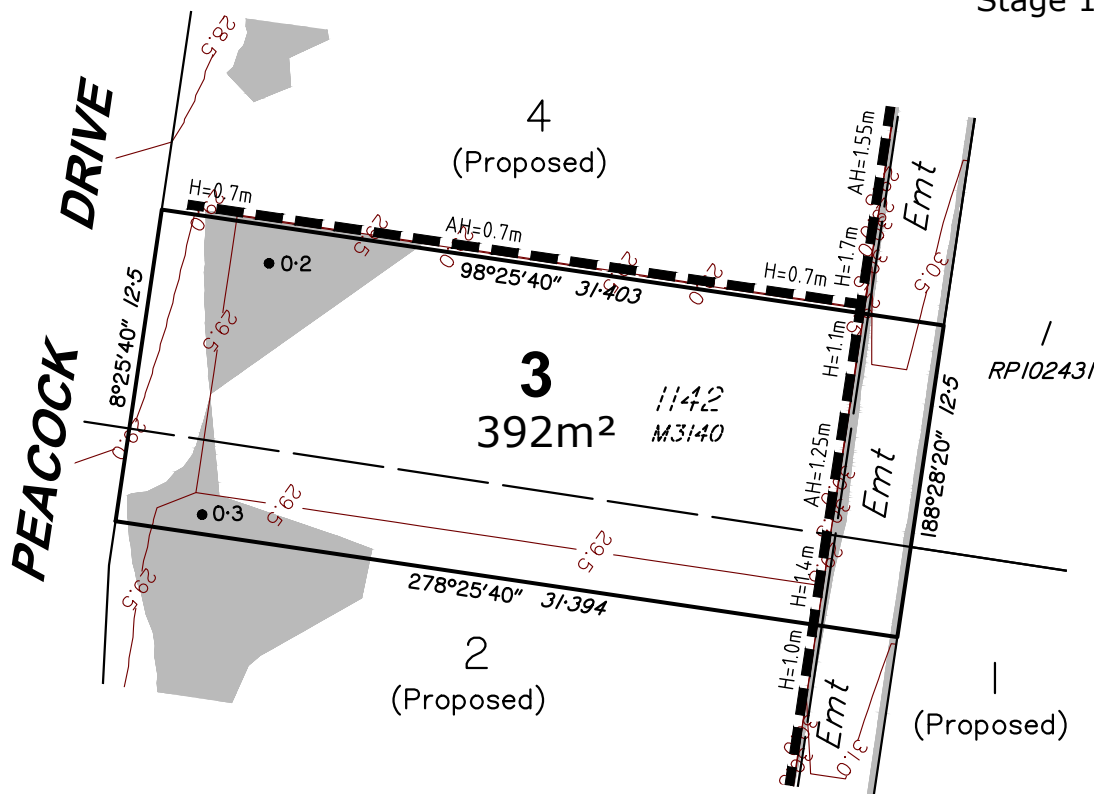


Lot 3

Stage 1



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30.129m AHD.
3. Contour Interval : 0.5m Design.
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 3 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

H=0.7m
AH=0.7m
Denotes retaining wall height (H)

Denotes retaining wall average height (AH)

1.0 ● Denotes depth of fill

Scale 1:300



B	Updated Design Information	DJL	9/10/2025
A	Original Issue	GJF	1/09/2025
Issue	Revision	Int	Date

Title:

Disclosure Plan for Proposed Lot 3 on SP357820

Bognuda Street, BUNDAMBA,
Being Part of Lot 900 on SP270961

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**TIERRA CONSTRUCTION
SERVICES PTY LTD**

Locality: BUNDAMBA

Local Gov: ICC Prepared By: GJF

Surveyed By: Approved: JH

Date Created: 1/09/2025 Scale: 1:300

Comp File: 211296.project

Plan No: 211296_004_DIS



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mail@bennettandbennett.com.au

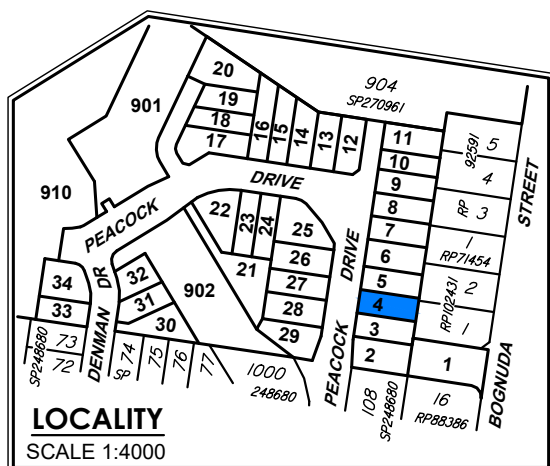
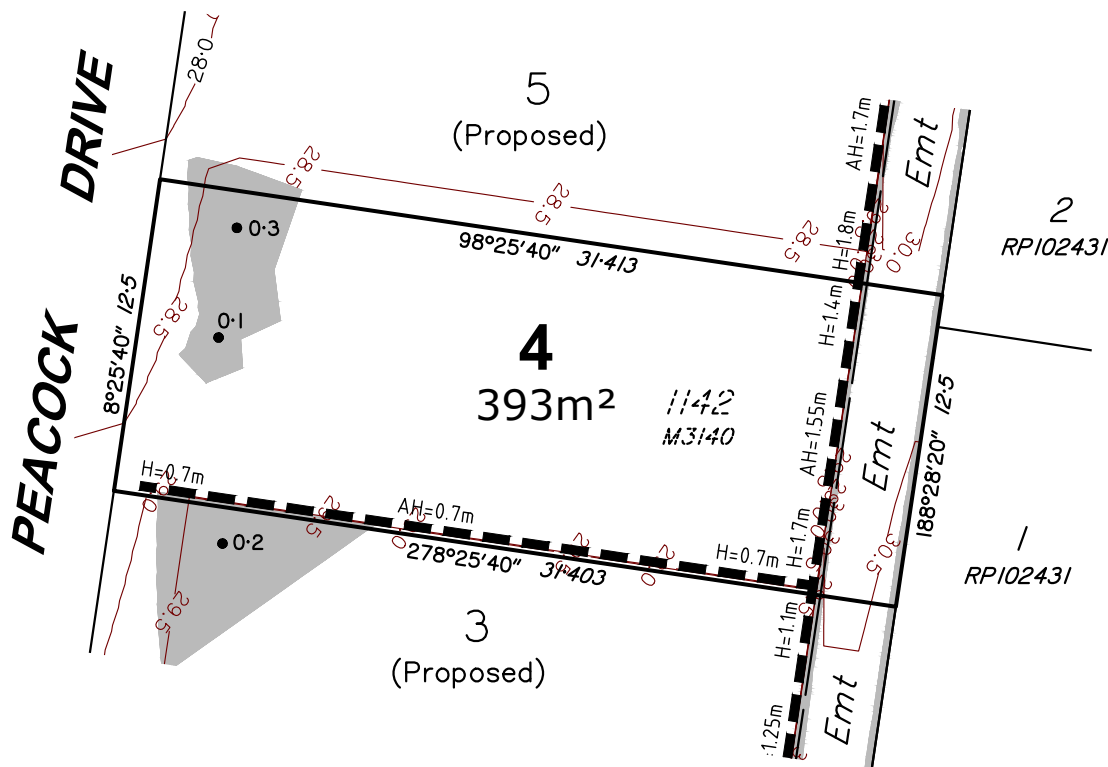
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Lot 4

Stage 1



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30.129m AHD.
3. Contour Interval : 0.5m Design.
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 4 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

H=0.7m
Denotes retaining wall height (H)

AH=0.7m
Denotes retaining wall average height (AH)

I.O ● Denotes depth of fill

Scale 1:300

B	Updated Design Information	DJL	9/10/2025
A	Original Issue	GJF	1/09/2025
Issue	Revision	Int	Date



Title:

Disclosure Plan for Proposed Lot 4 on SP357820

Bognuda Street, BUNDAMBA,
Being Part of Lot 900 on SP270961

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**TIERRA CONSTRUCTION
SERVICES PTY LTD**

Locality: BUNDAMBA

Local Gov: ICC

Prepared By: GJF

Surveyed By:

Approved: JH

Date Created: 1/09/2025

Scale: 1:300

Comp File: 211296.project

Plan No:

211296_004_DIS



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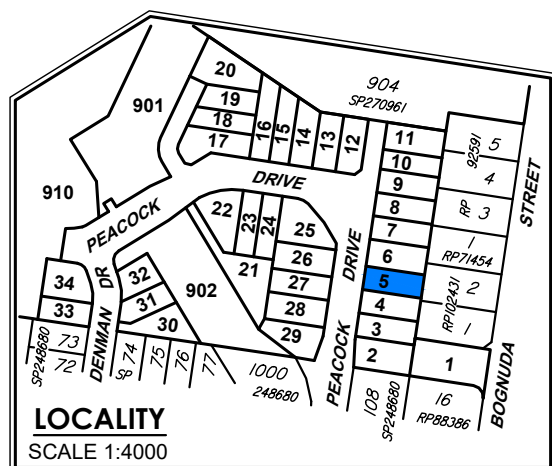
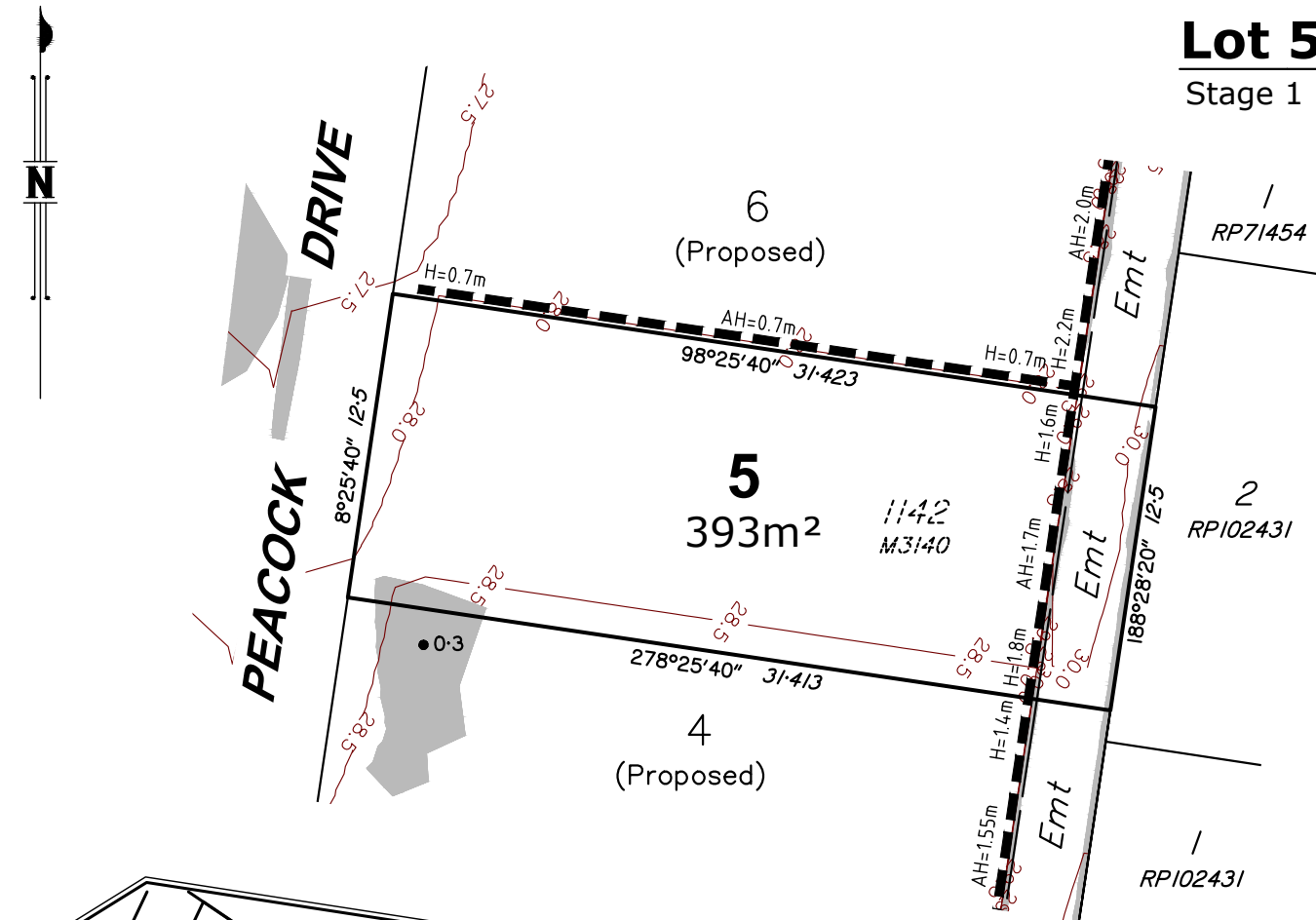
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Lot 5

Stage 1



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30.129m AHD.
3. Contour Interval : 0.5m Design.
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 5 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

H=0.7m
AH=0.7m
Denotes retaining wall height (H)

Denotes retaining wall average height (AH)

1.0 ● Denotes depth of fill

Scale 1:300

B	Updated Design Information	DJL	9/10/2025
A	Original Issue	GJF	1/09/2025
Issue	Revision	Int	Date



Title: Disclosure Plan for Proposed Lot 5 on SP357820

Bognuda Street, BUNDAMBA,
Being Part of Lot 900 on SP270961

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client: **TIERRA CONSTRUCTION SERVICES PTY LTD**

Locality:	BUNDAMBA		
Local Gov:	ICC	Prepared By:	GJF
Surveyed By:		Approved:	JH
Date Created:	1/09/2025	Scale:	1:300
Comp File:	211296.project		
Plan No:	211296 004 DIS		



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Lot 6

Stage 1

PEACOCK DRIVE

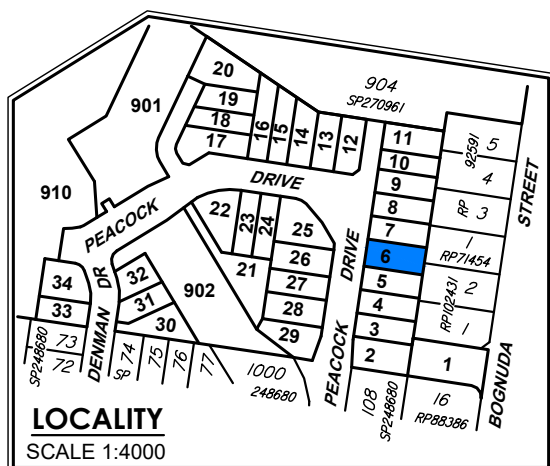
7
(Proposed)

6
456m²
1142
M3140

5
(Proposed)

1
RP71454

2
RP102431



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30.129m AHD.
3. Contour Interval : 0.5m Design.
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 6 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

24 — Design Contours

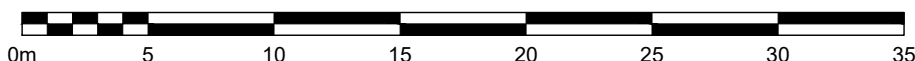
Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

H=0.7m
 AH=0.7m
Denotes retaining wall height (H)

Denotes retaining wall average height (AH)

1.0 ● Denotes depth of fill

Scale 1:300



B	Updated Design Information	DJL	9/10/2025
A	Original Issue	GJF	1/09/2025
Issue	Revision	Int	Date

Title:

Disclosure Plan for Proposed Lot 6 on SP357820

Bognuda Street, BUNDAMBA,
Being Part of Lot 900 on SP270961

Client:

**TIERRA CONSTRUCTION
SERVICES PTY LTD**

Locality: BUNDAMBA

Local Gov: ICC Prepared By: GJF

Surveyed By: Approved: JH

Date Created: 1/09/2025 Scale: 1:300

Comp File: 211296.project

Plan No: 211296_004_DIS



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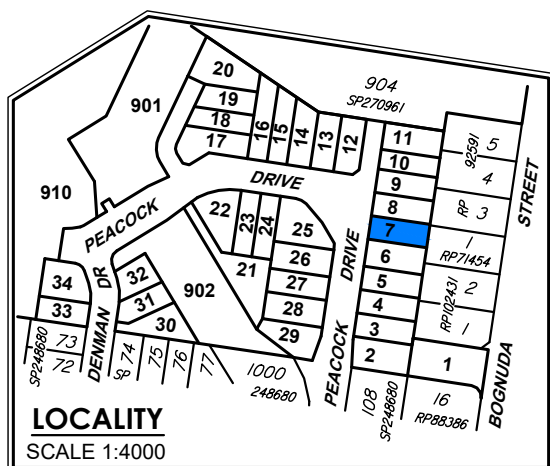
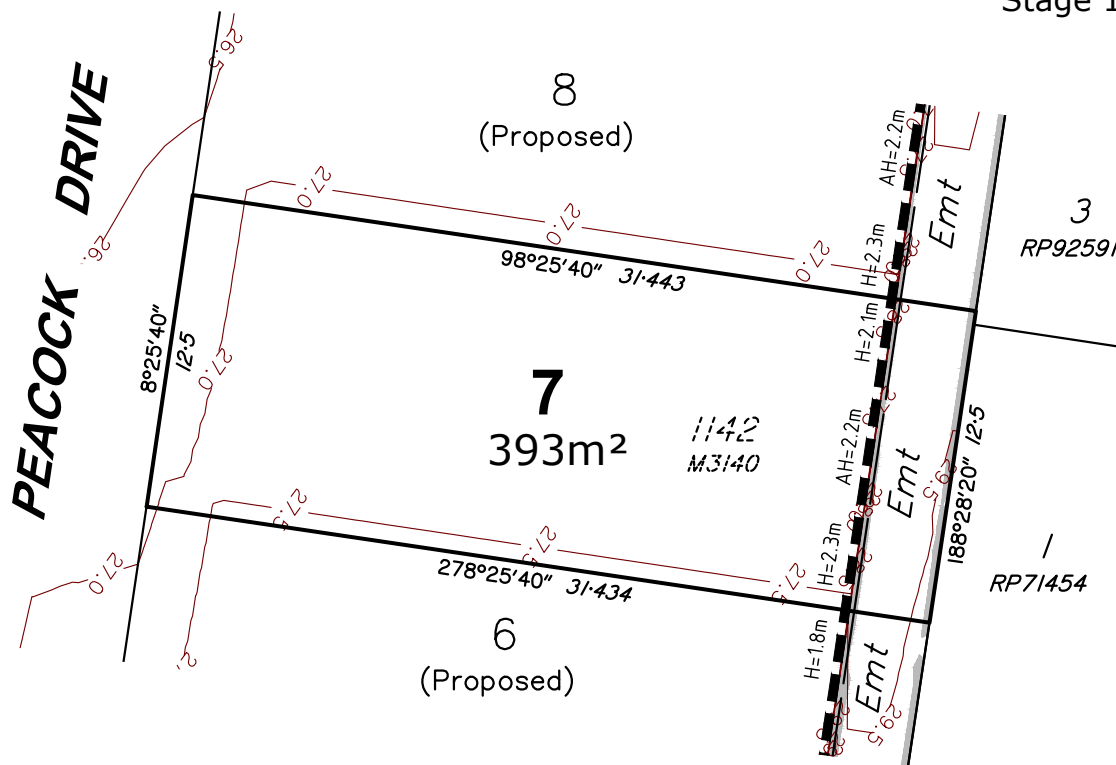
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Lot 7

Stage 1



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30.129m AHD.
3. Contour Interval : 0.5m Design.
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 7 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

H=0.7m
AH=0.7m
Denotes retaining wall height (H)

Denotes retaining wall average height (AH)

I.O ● Denotes depth of fill

Scale 1:300



B	Updated Design Information	DJL	9/10/2025
A	Original Issue	GJF	1/09/2025
Issue	Revision	Int	Date

Title:

Disclosure Plan for Proposed Lot 7 on SP357820

Bognuda Street, BUNDAMBA,
Being Part of Lot 900 on SP270961

Client:

**TIERRA CONSTRUCTION
SERVICES PTY LTD**

Locality: BUNDAMBA

Local Gov: ICC Prepared By: GJF

Surveyed By: Approved: JH

Date Created: 1/09/2025 Scale: 1:300

Comp File: 211296.project

Plan No: 211296_004_DIS



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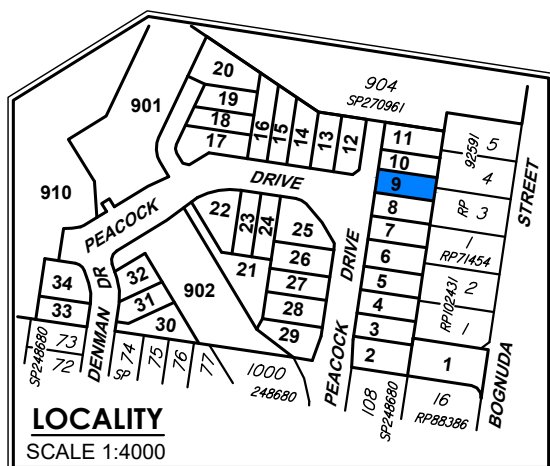
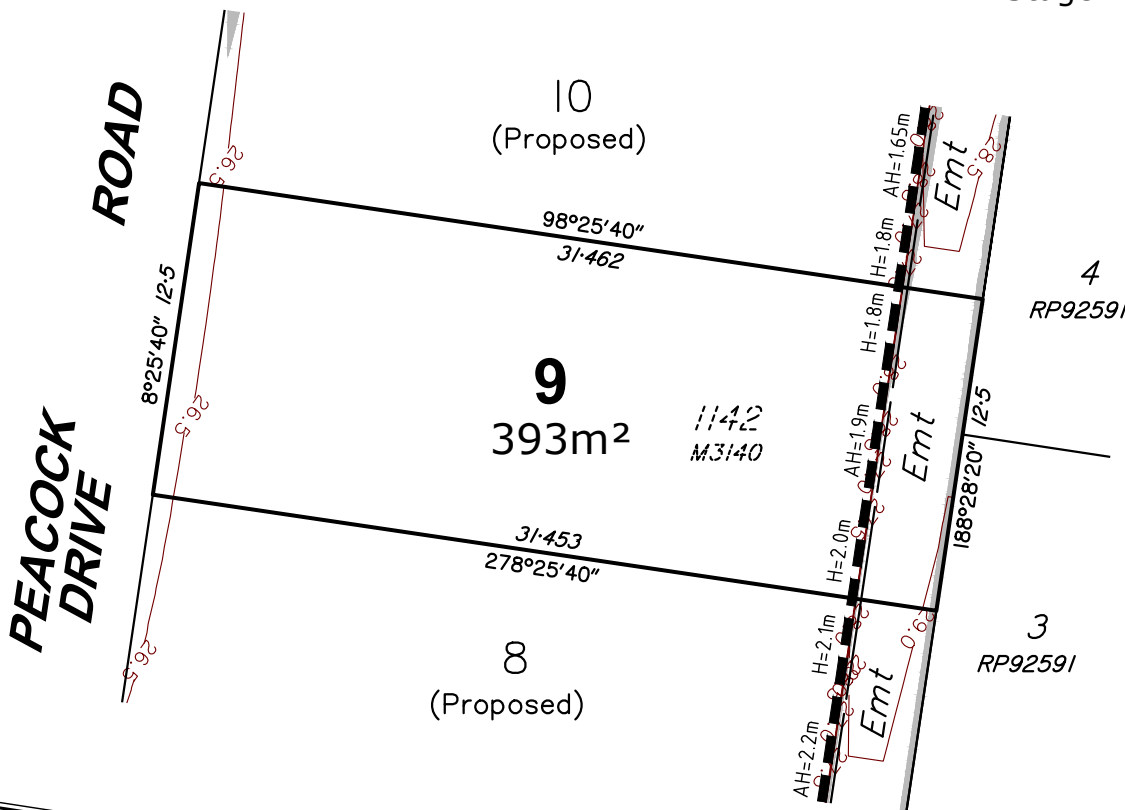
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This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Lot 9

Stage 1



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30.129m AHD.
3. Contour Interval : 0.5m Design.
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 9 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

H=0.7m
AH=0.7m
Denotes retaining wall height (H)

Denotes retaining wall average height (AH)

I.O ● Denotes depth of fill

Scale 1:300

B	Updated Design Information	DJL	9/10/2025
A	Original Issue	GJF	1/09/2025
Issue	Revision	Int	Date



Title: Disclosure Plan for Proposed Lot 9 on SP357820

Bognuda Street, BUNDAMBA,
Being Part of Lot 900 on SP270961

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client: **TIERRA CONSTRUCTION SERVICES PTY LTD**

Locality:	BUNDAMBA		
Local Gov:	ICC	Prepared By:	GJF
Surveyed By:		Approved:	JH
Date Created:	1/09/2025	Scale:	1:300
Comp File:	211296.project		
Plan No:	211296 004 DIS		



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mail@bennettandbennett.com.au

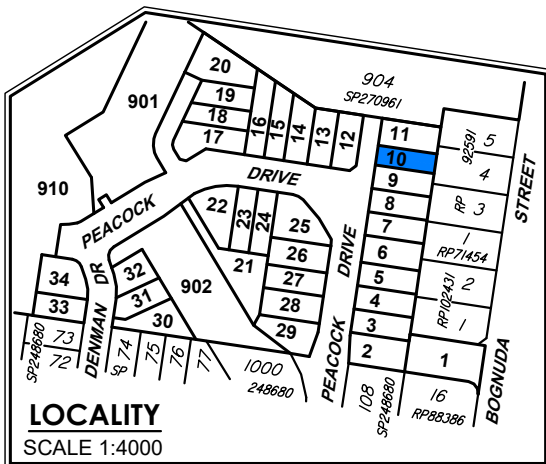
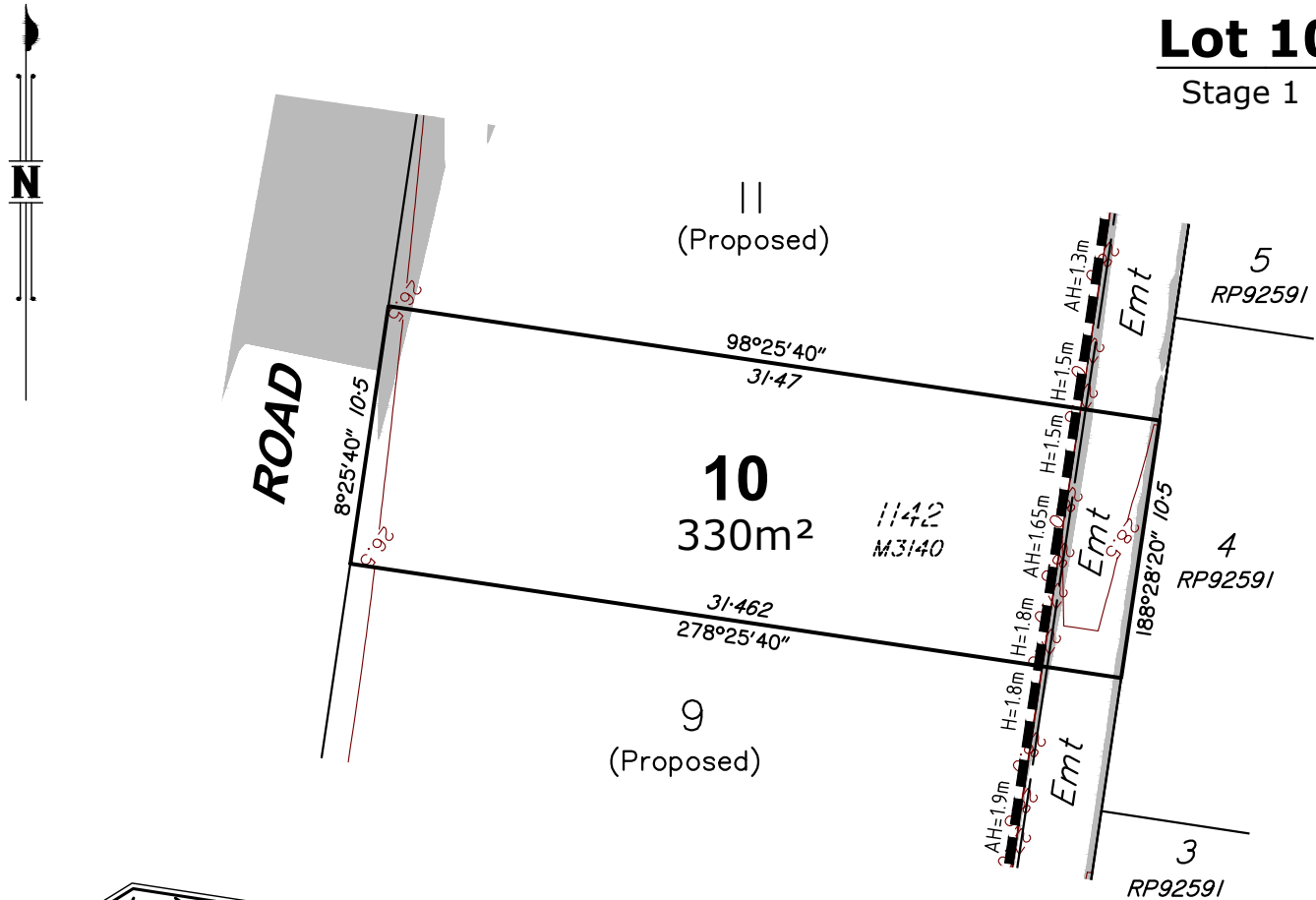
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Lot 10

Stage 1



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30.129m AHD.
3. Contour Interval : 0.5m Design.
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 10 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

H=0.7m
AH=0.7m
Denotes retaining wall height (H)

Denotes retaining wall average height (AH)

1:0 ● Denotes depth of fill

Scale 1:300

B	Updated Design Information	DJL	9/10/2025
A	Original Issue	GJF	1/09/2025
Issue	Revision	Int	Date



Title: Disclosure Plan for Proposed Lot 10 on SP357820

Bognuda Street, BUNDAMBA,
Being Part of Lot 900 on SP270961

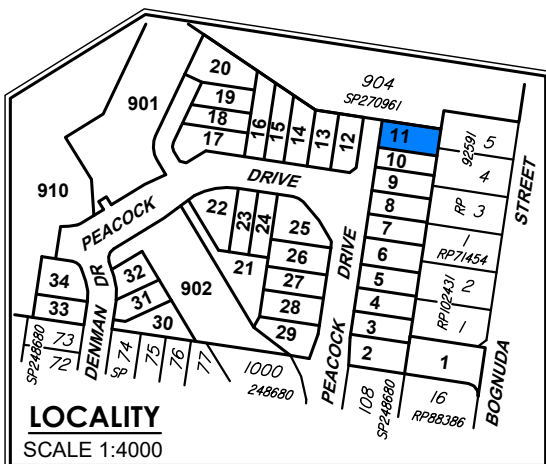
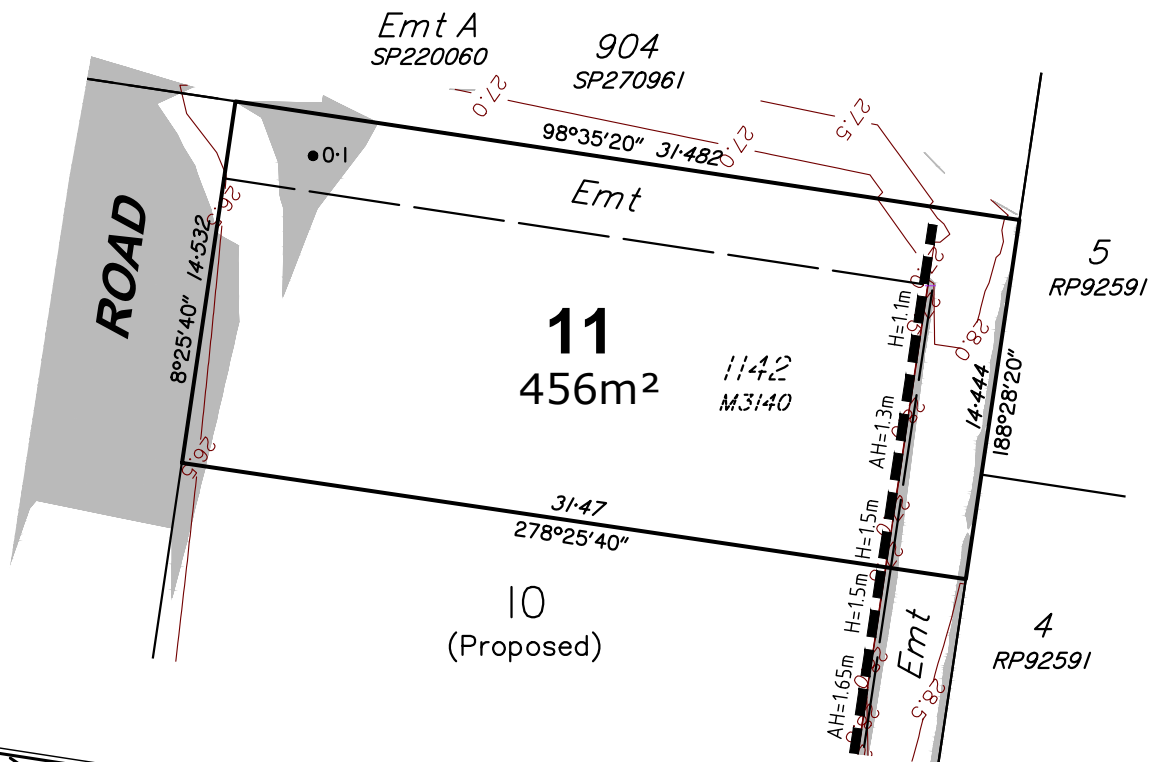
This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client: **TIERRA CONSTRUCTION SERVICES PTY LTD**

Locality:	BUNDAMBA		
Local Gov:	ICC	Prepared By:	GJF
Surveyed By:		Approved:	JH
Date Created:	1/09/2025	Scale:	1:300
Comp File:	211296.project		
Plan No:	211296 004 DIS		

Lot 11

Stage 1



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30.129m AHD.
3. Contour Interval : 0.5m Design.
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 11 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

H=0.7m
 AH=0.7m

Denotes retaining wall height (H)

Denotes retaining wall average height (AH)

I.O ● Denotes depth of fill

Scale 1:300

B	Updated Design Information	DJL	9/10/2025
A	Original Issue	GJF	1/09/2025
Issue	Revision	Int	Date



Title: Disclosure Plan for Proposed Lot 11 on SP357820

Bognuda Street, BUNDAMBA,
Being Part of Lot 900 on SP270961

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

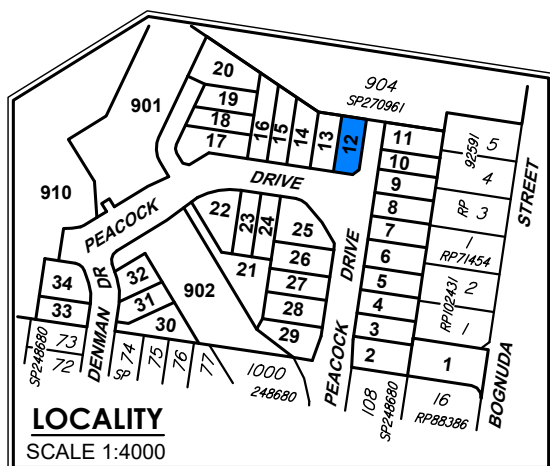
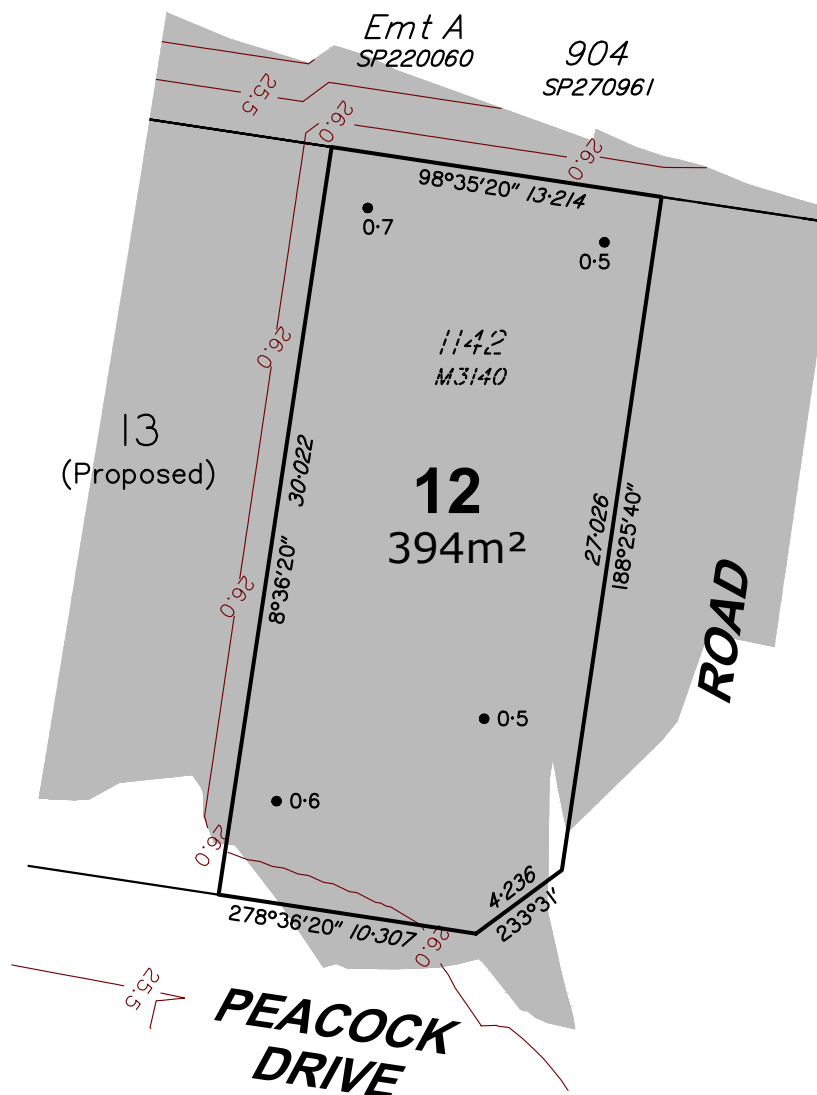
Client: **TIERRA CONSTRUCTION SERVICES PTY LTD**

Locality:	BUNDAMBA		
Local Gov:	ICC	Prepared By:	GJF
Surveyed By:		Approved:	JH
Date Created:	1/09/2025	Scale:	1:300
Comp File:	211296.project		
Plan No:	211296 004 DIS		



Lot 12

Stage 1



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30.129m AHD.
3. Contour Interval : 0.5m Design.
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 12 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

- Approximate Fill Area
- 24 — Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.
- Denotes retaining wall height (H)
- Denotes retaining wall average height (AH)
- Denotes depth of fill

Scale 1:300

B	Updated Design Information	DJL	9/10/2025
A	Original Issue	GJF	1/09/2025
Issue	Revision	Int	Date



Title: Disclosure Plan for Proposed Lot 12 on SP357820

Bognuda Street, BUNDAMBA,
Being Part of Lot 900 on SP270961

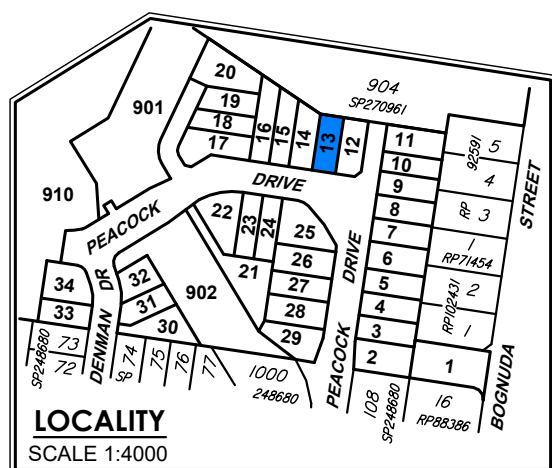
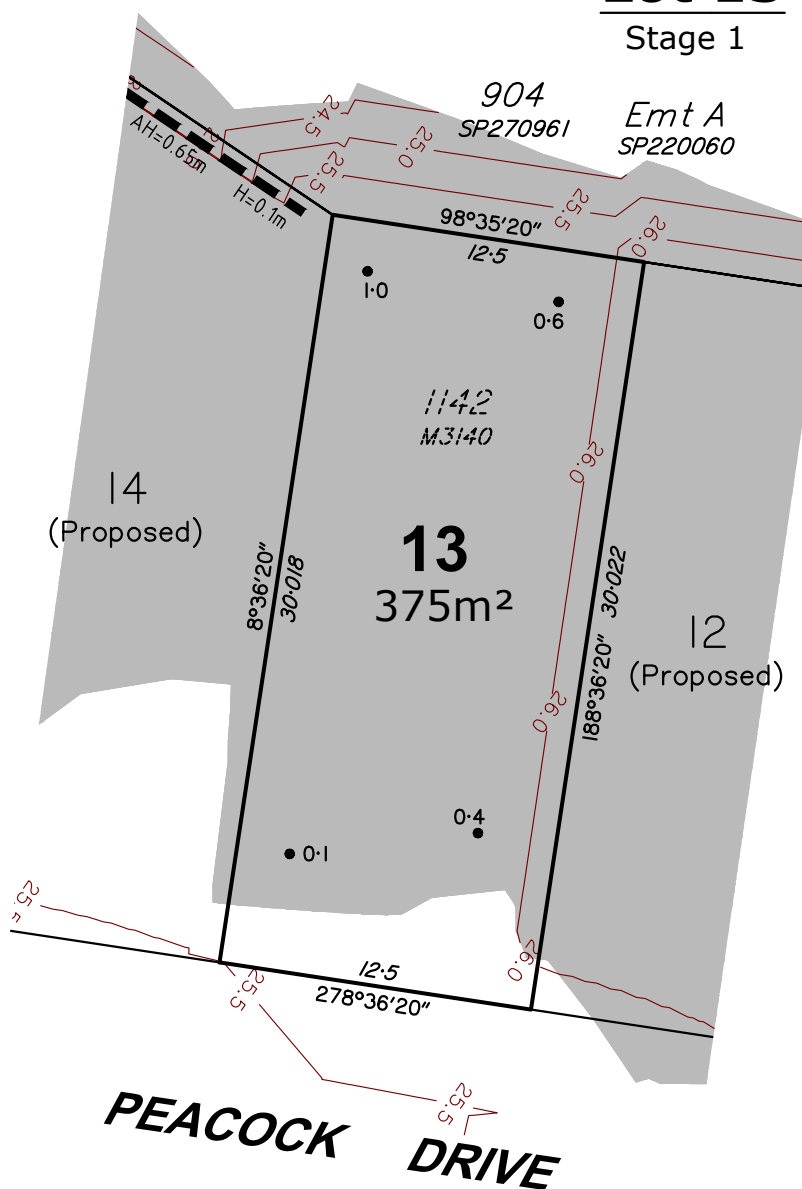
This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:	TIERRA CONSTRUCTION SERVICES PTY LTD		
Locality:	BUNDAMBA		
Local Gov:	ICC	Prepared By:	GJF
Surveyed By:	Approved:		JH
Date Created:	1/09/2025	Scale:	1:300
Comp File:	211296.project		
Plan No:	211296_004_DIS		



Lot 13

Stage 1



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30.129m AHD.
3. Contour Interval : 0.5m Design.
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 13 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

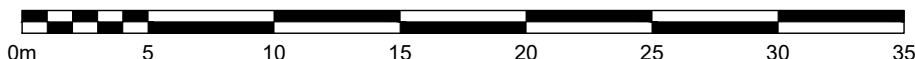
H=0.7m
Denotes retaining wall height (H)

AH=0.7m
Denotes retaining wall average height (AH)

I-0 ● Denotes depth of fill

Scale 1:300

B	Updated Design Information	DJL	9/10/2025
A	Original Issue	GJF	1/09/2025
Issue	Revision	Int	Date



Title: Disclosure Plan for Proposed Lot 13 on SP357820

Bognuda Street, BUNDAMBA,
Being Part of Lot 900 on SP270961

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client: **TIERRA CONSTRUCTION SERVICES PTY LTD**

Locality:	BUNDAMBA		
Local Gov:	ICC	Prepared By:	GJF
Surveyed By:		Approved:	JH
Date Created:	1/09/2025	Scale:	1:300
Comp File:	211296.project		
Plan No:	211296_004_DIS		



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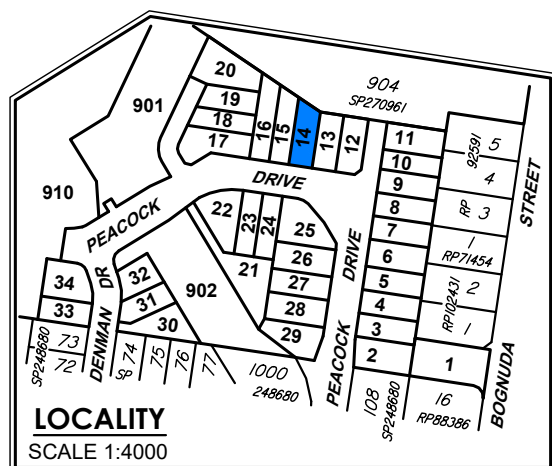
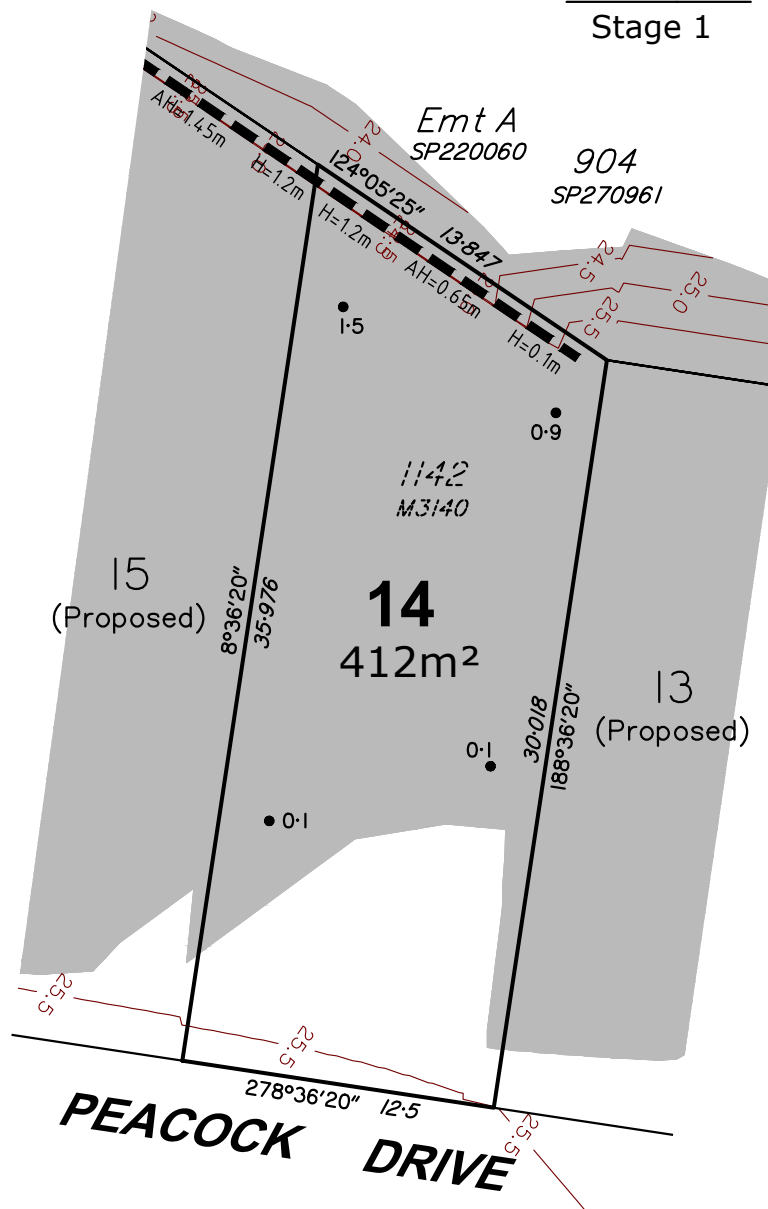
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Lot 14

Stage 1



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30.129m AHD.
3. Contour Interval : 0.5m Design.
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 14 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

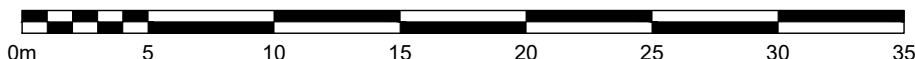
Denotes retaining wall height (H)

Denotes retaining wall average height (AH)

Denotes depth of fill

Scale 1:300

B	Updated Design Information	DJL	9/10/2025
A	Original Issue	GJF	1/09/2025
Issue	Revision	Int	Date



Title: Disclosure Plan for Proposed Lot 14 on SP357820

Bognuda Street, BUNDAMBA,
Being Part of Lot 900 on SP270961

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client: **TIERRA CONSTRUCTION SERVICES PTY LTD**

Locality:	BUNDAMBA		
Local Gov:	ICC	Prepared By:	GJF
Surveyed By:		Approved:	JH
Date Created:	1/09/2025	Scale:	1:300
Comp File:	211296.project		
Plan No:	211296 004 DIS		



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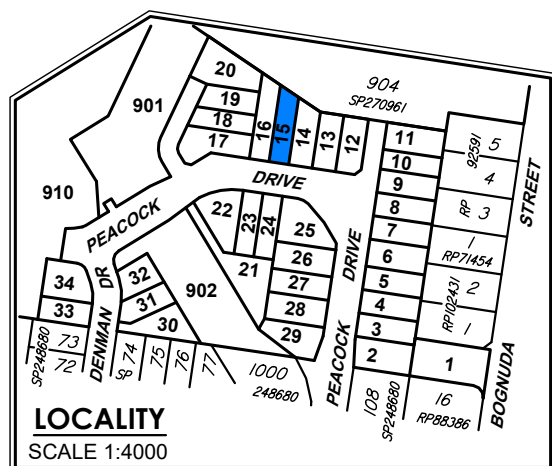
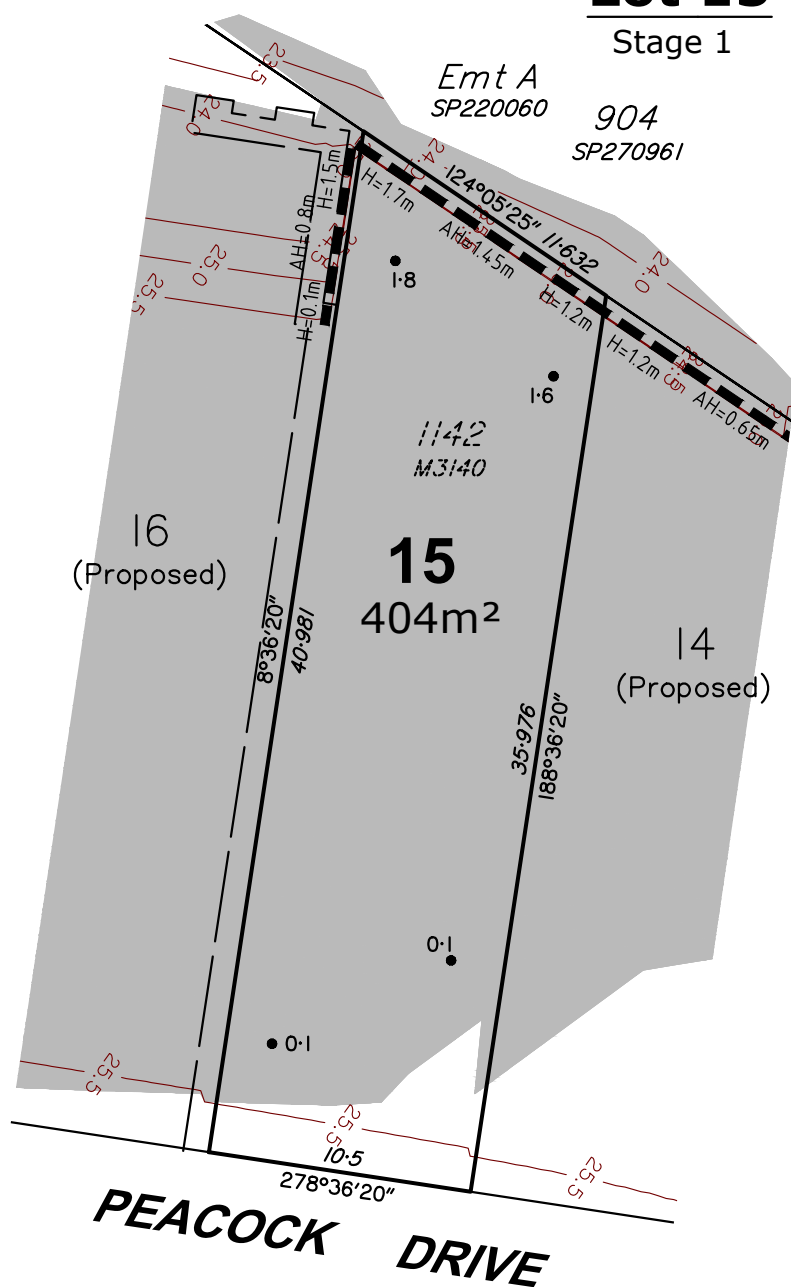


Lot 15

Stage 1

Emt A
SP220060

904
SP270961



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30.129m AHD.
3. Contour Interval : 0.5m Design.
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 15 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

H=0.7m
Denotes retaining wall height (H)

AH=0.7m
Denotes retaining wall average height (AH)

I-0 ● Denotes depth of fill

Scale 1:300

B	Updated Design Information	DJL	9/10/2025
A	Original Issue	GJF	1/09/2025
Issue	Revision	Int	Date



Title:

Disclosure Plan for Proposed Lot 15 on SP357820

Bognuda Street, BUNDAMBA,
Being Part of Lot 900 on SP270961

Client:

**TIERRA CONSTRUCTION
SERVICES PTY LTD**

Locality: BUNDAMBA

Local Gov: ICC

Prepared By: GJF

Surveyed By:

Approved: JH

Date Created: 1/09/2025

Scale: 1:300

Comp File: 211296.project

Plan No: 211296_004_DIS



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Lot 16

Stage 1

LEGEND

Approximate Fill Area

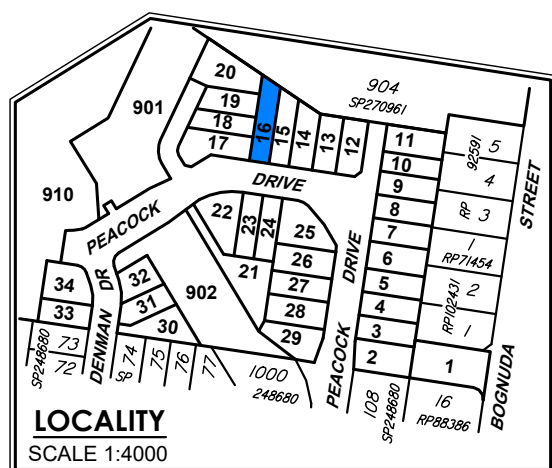
24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

H=0.7m
Denotes retaining wall height (H)

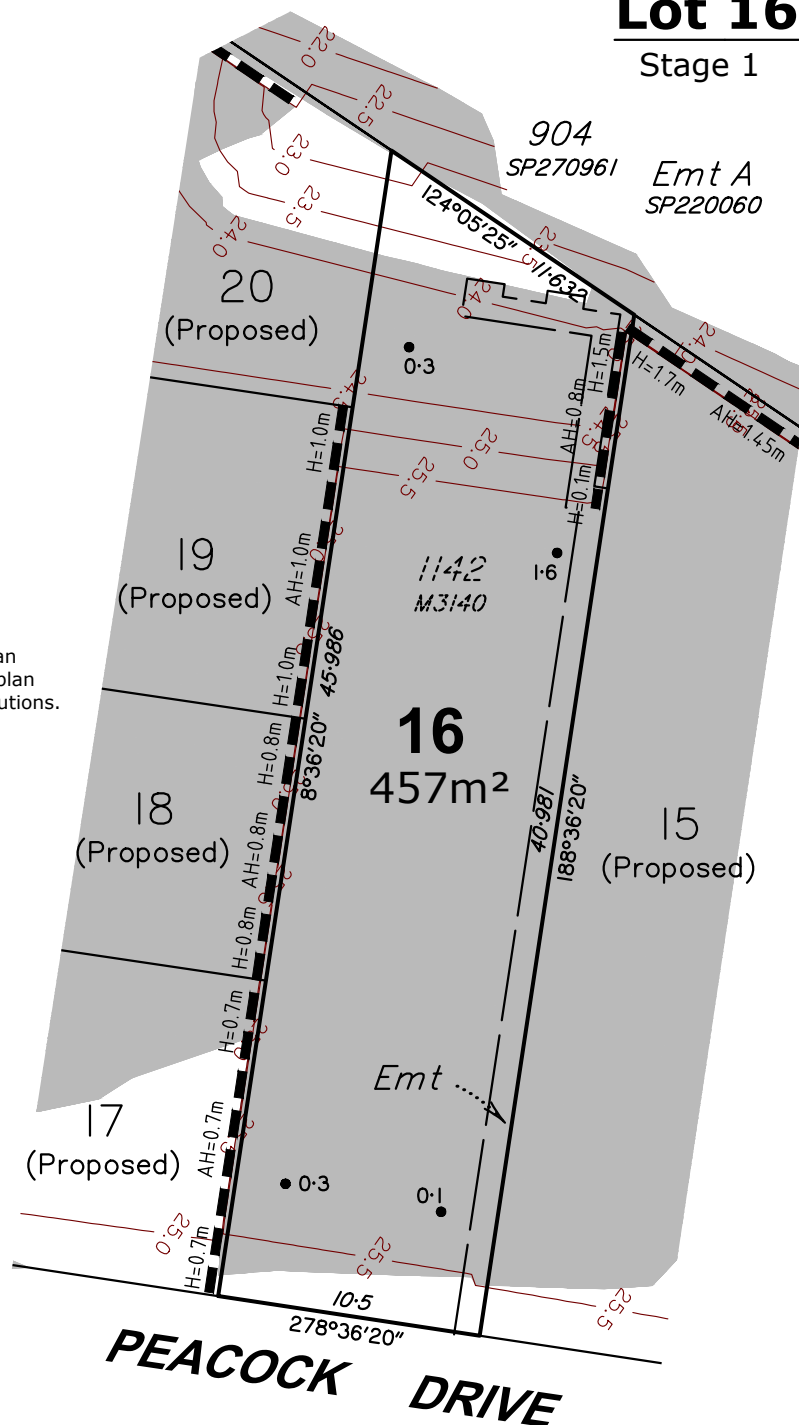
AH=0.7m
Denotes retaining wall average height (AH)

1.0 • Denotes depth of fill



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30.129m AHD.
3. Contour Interval : 0.5m Design.
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5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 16 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.



PEACOCK DRIVE

Scale 1:300



Title:

Disclosure Plan for Proposed Lot 16 on SP357820

Bognuda Street, BUNDAMBA,
Being Part of Lot 900 on SP270961

Client:

**TIERRA CONSTRUCTION
SERVICES PTY LTD**

Locality: BUNDAMBA

Local Gov: ICC Prepared By: GJF

Surveyed By: Approved: JH

Date Created: 1/09/2025 Scale: 1:300

Comp File: 211296.project

Plan No: 211296_004_DIS

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.



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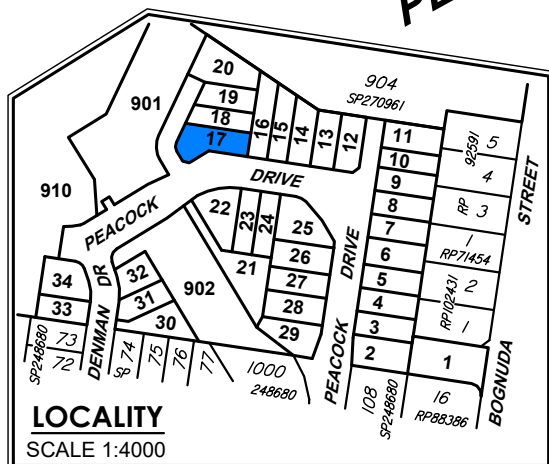
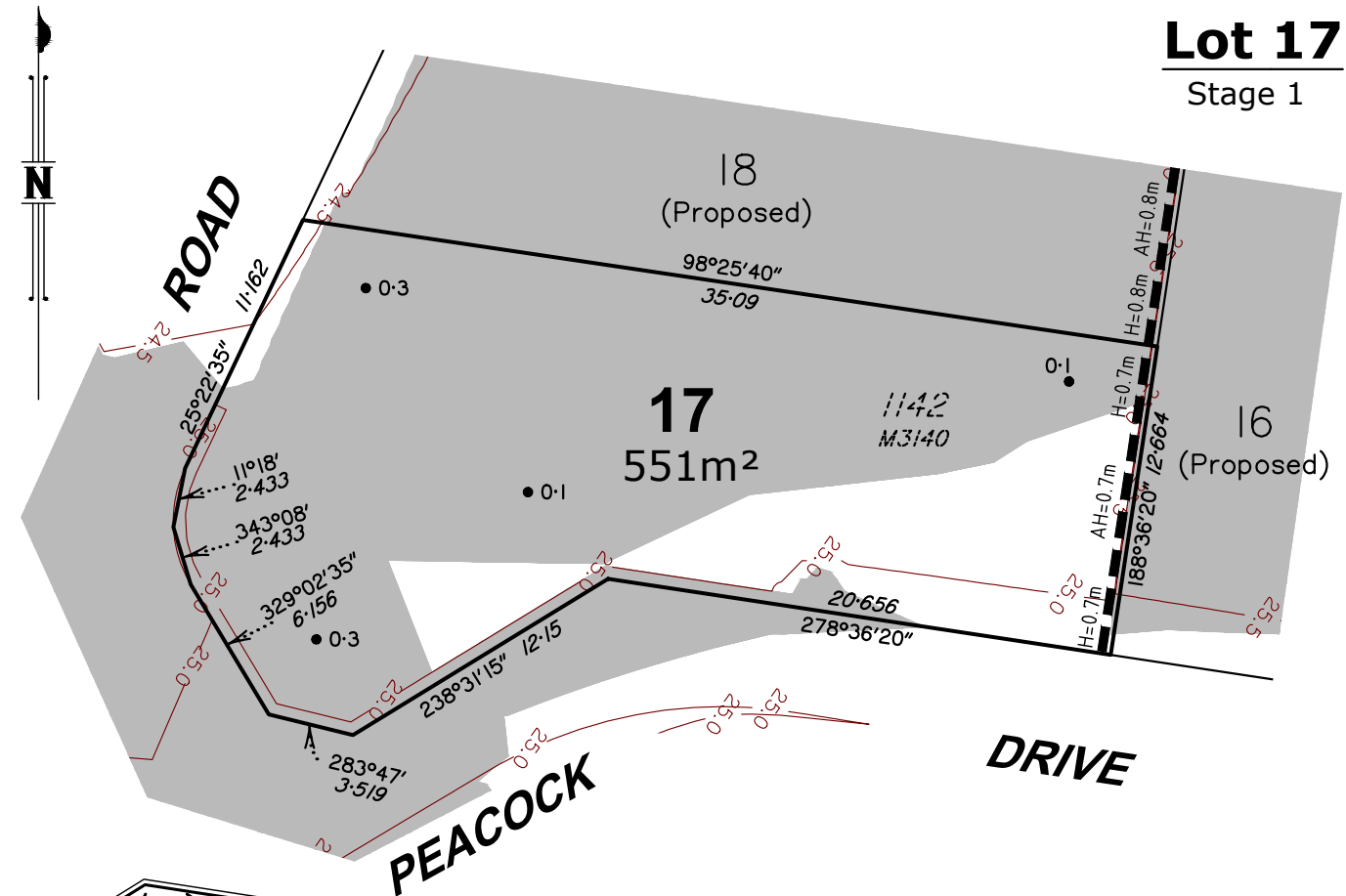
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Lot 17

Stage 1



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30.129m AHD.
3. Contour Interval : 0.5m Design.
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 17 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

H=0.7m
AH=0.7m
Denotes retaining wall height (H)

Denotes retaining wall average height (AH)

I-0 ● Denotes depth of fill

Scale 1:300

B	Updated Design Information	DJL	9/10/2025
A	Original Issue	GJF	1/09/2025
Issue	Revision	Int	Date



Title: Disclosure Plan for Proposed Lot 17 on SP357820

Bognuda Street, BUNDAMBA,
Being Part of Lot 900 on SP270961

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client: **TIERRA CONSTRUCTION SERVICES PTY LTD**

Locality:	BUNDAMBA		
Local Gov:	ICC	Prepared By:	GJF
Surveyed By:		Approved:	JH
Date Created:	1/09/2025	Scale:	1:300
Comp File:	211296.project		
Plan No:	211296 004 DIS		



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Ph: (07) 5631 8000
mail@bennettandbennett.com.au

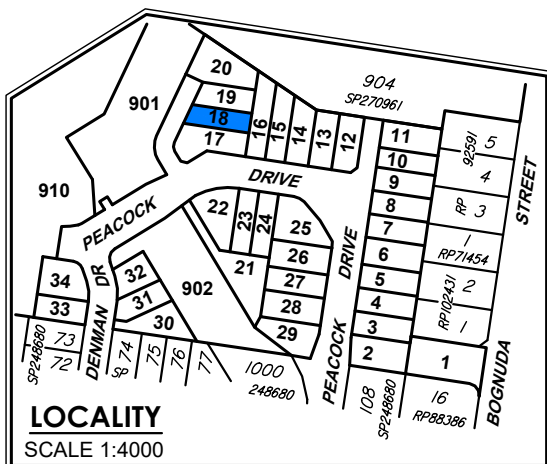
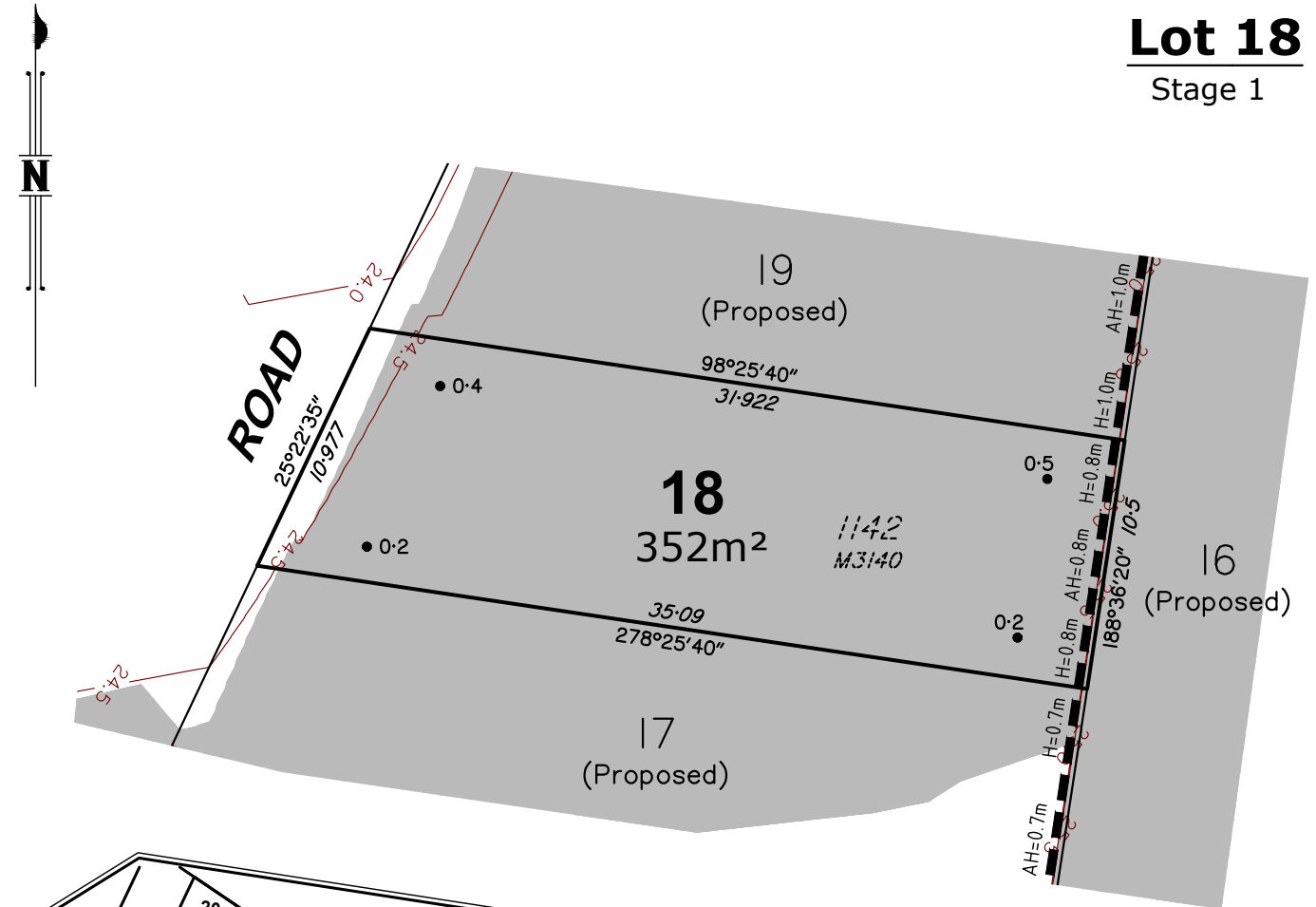
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Lot 18

Stage 1



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30.129m AHD.
3. Contour Interval : 0.5m Design.
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 18 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

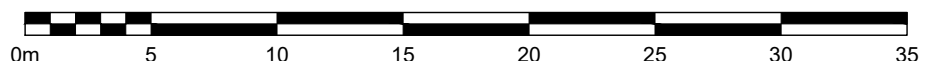
H=0.7m
Denotes retaining wall height (H)

AH=0.7m
Denotes retaining wall average height (AH)

I-0 ● Denotes depth of fill

Scale 1:300

B	Updated Design Information	DJL	9/10/2025
A	Original Issue	GJF	1/09/2025
Issue	Revision	Int	Date



Title: Disclosure Plan for Proposed Lot 18 on SP357820

Bognuda Street, BUNDAMBA,
Being Part of Lot 900 on SP270961

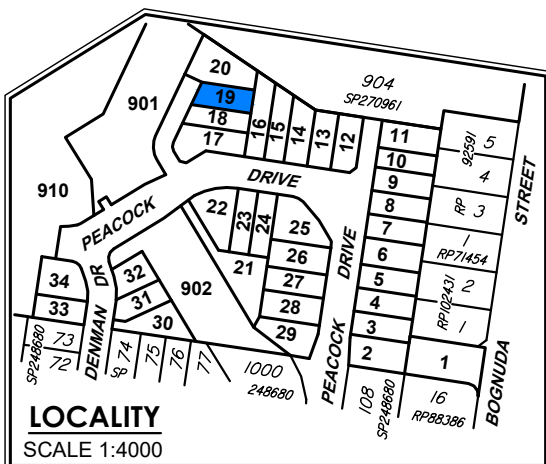
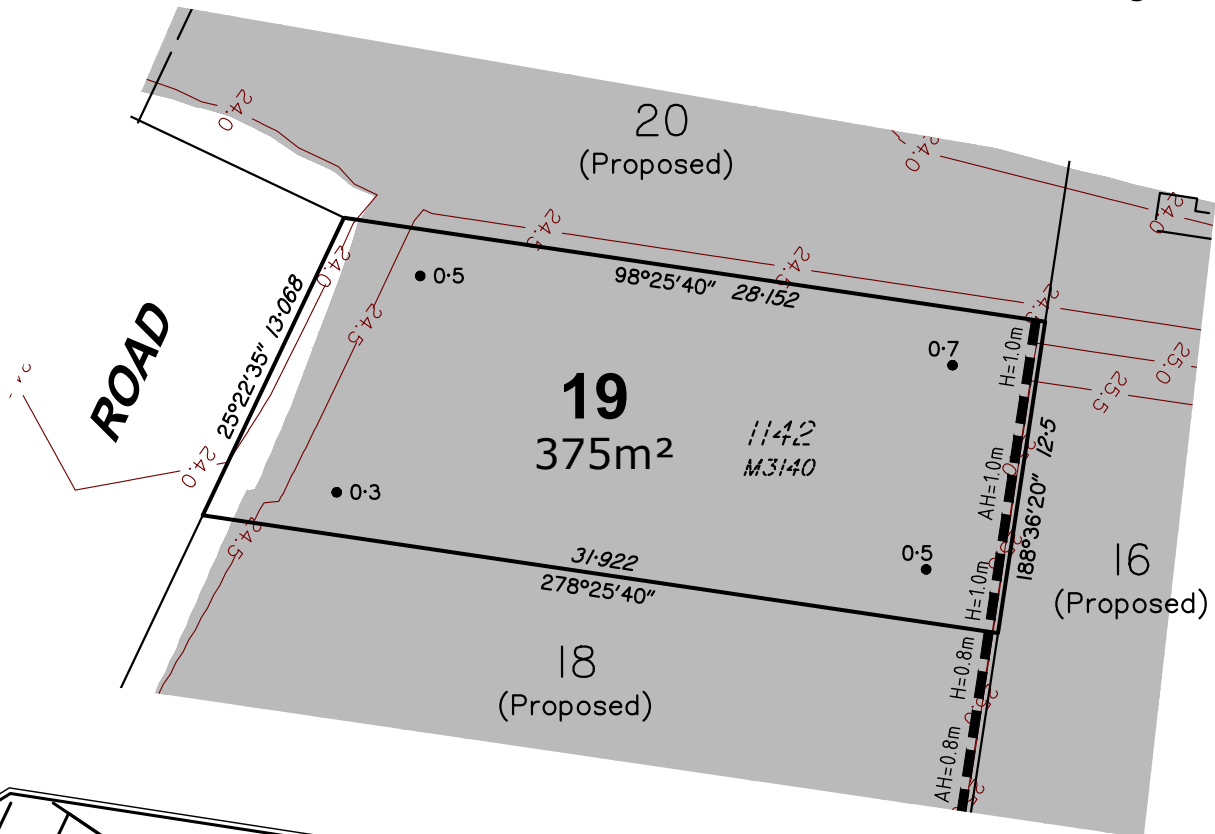
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Client: **TIERRA CONSTRUCTION SERVICES PTY LTD**

Locality:	BUNDAMBA		
Local Gov:	ICC	Prepared By:	GJF
Surveyed By:		Approved:	JH
Date Created:	1/09/2025	Scale:	1:300
Comp File:	211296.project		
Plan No:	211296 004 DIS		

Lot 19

Stage 1



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30.129m AHD.
3. Contour Interval : 0.5m Design.
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 19 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

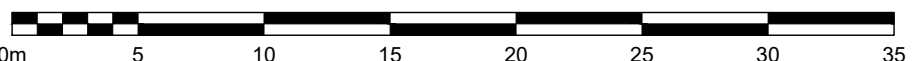
H=0.7m
AH=0.7m
Denotes retaining wall height (H)

Denotes retaining wall average height (AH)

1.0 ● Denotes depth of fill

Scale 1:300

B	Updated Design Information	DJL	9/10/2025
A	Original Issue	GJF	1/09/2025
Issue	Revision	Int	Date



Title: Disclosure Plan for Proposed Lot 19 on SP357820

Bognuda Street, BUNDAMBA,
Being Part of Lot 900 on SP270961

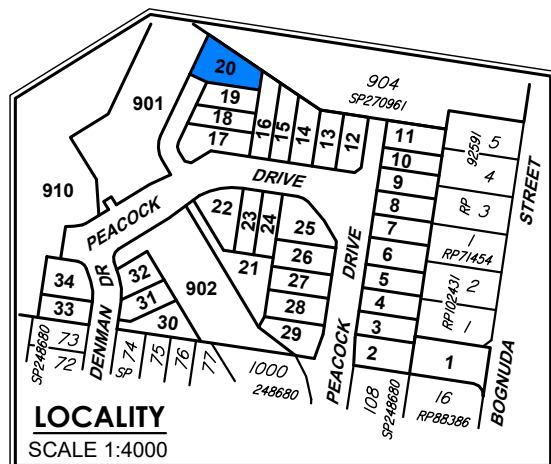
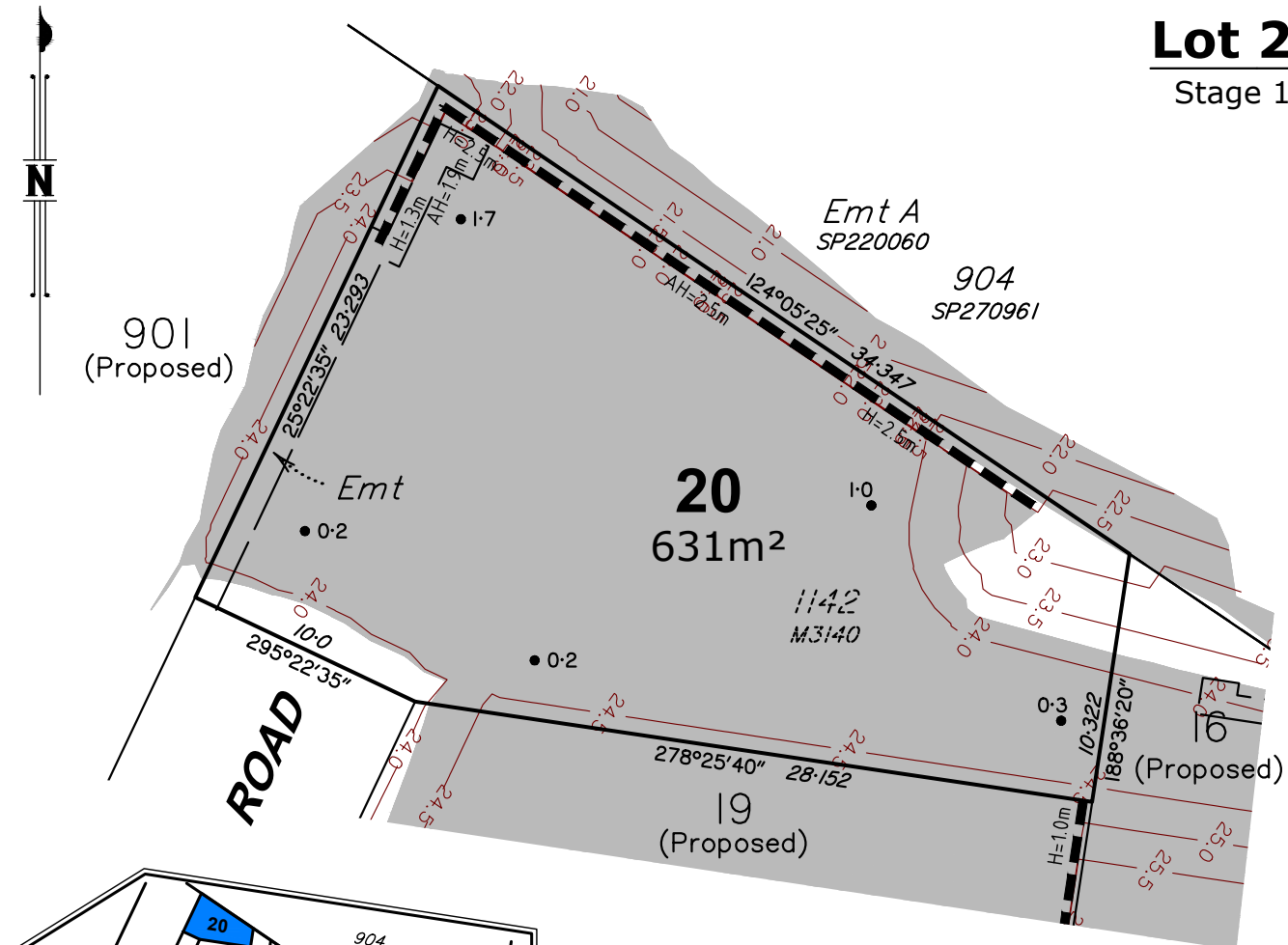
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Client: **TIERRA CONSTRUCTION SERVICES PTY LTD**

Locality:	BUNDAMBA		
Local Gov:	ICC	Prepared By:	GJF
Surveyed By:		Approved:	JH
Date Created:	1/09/2025	Scale:	1:300
Comp File:	211296.project		
Plan No:	211296 004 DIS		

Lot 20

Stage 1



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30.129m AHD.
3. Contour Interval : 0.5m Design.
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 20 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

— 2.4 — Design Contours

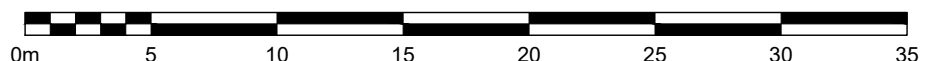
Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

H=0.7m
Denotes retaining wall height (H)

AH=0.7m
Denotes retaining wall average height (AH)

I-0 ● Denotes depth of fill

Scale 1:300



B	Updated Design Information	DJL	9/10/2025
A	Original Issue	GJF	1/09/2025
Issue	Revision	Int	Date

Title:

Disclosure Plan for Proposed Lot 20 on SP357820

Bognuda Street, BUNDAMBA,
Being Part of Lot 900 on SP270961

Client:

**TIERRA CONSTRUCTION
SERVICES PTY LTD**

Locality: BUNDAMBA

Local Gov: ICC Prepared By: GJF

Surveyed By: Approved: JH

Date Created: 1/09/2025 Scale: 1:300

Comp File: 211296.project

Plan No: 211296_004_DIS



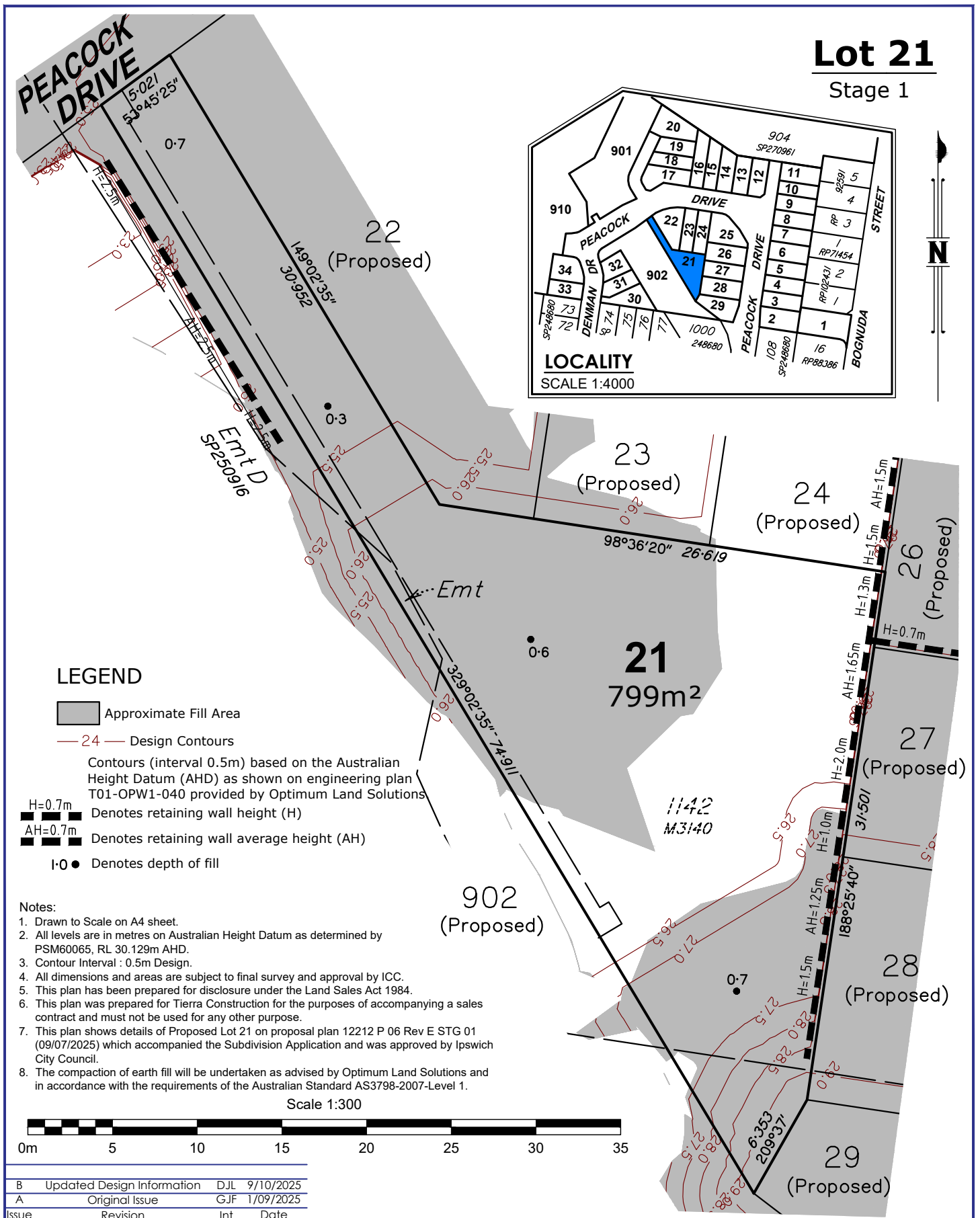
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mail@bennettandbennett.com.au

Surveying, Town Planning & Spatial Services

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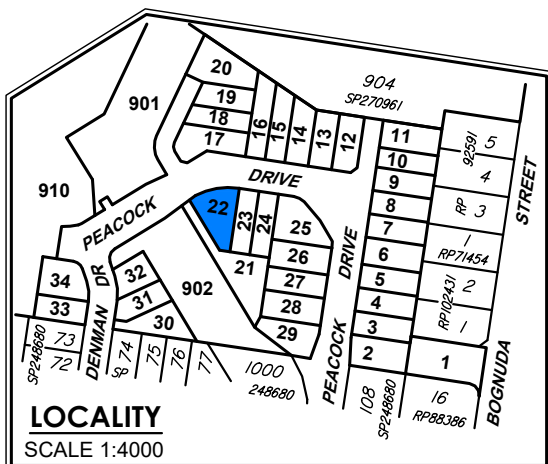
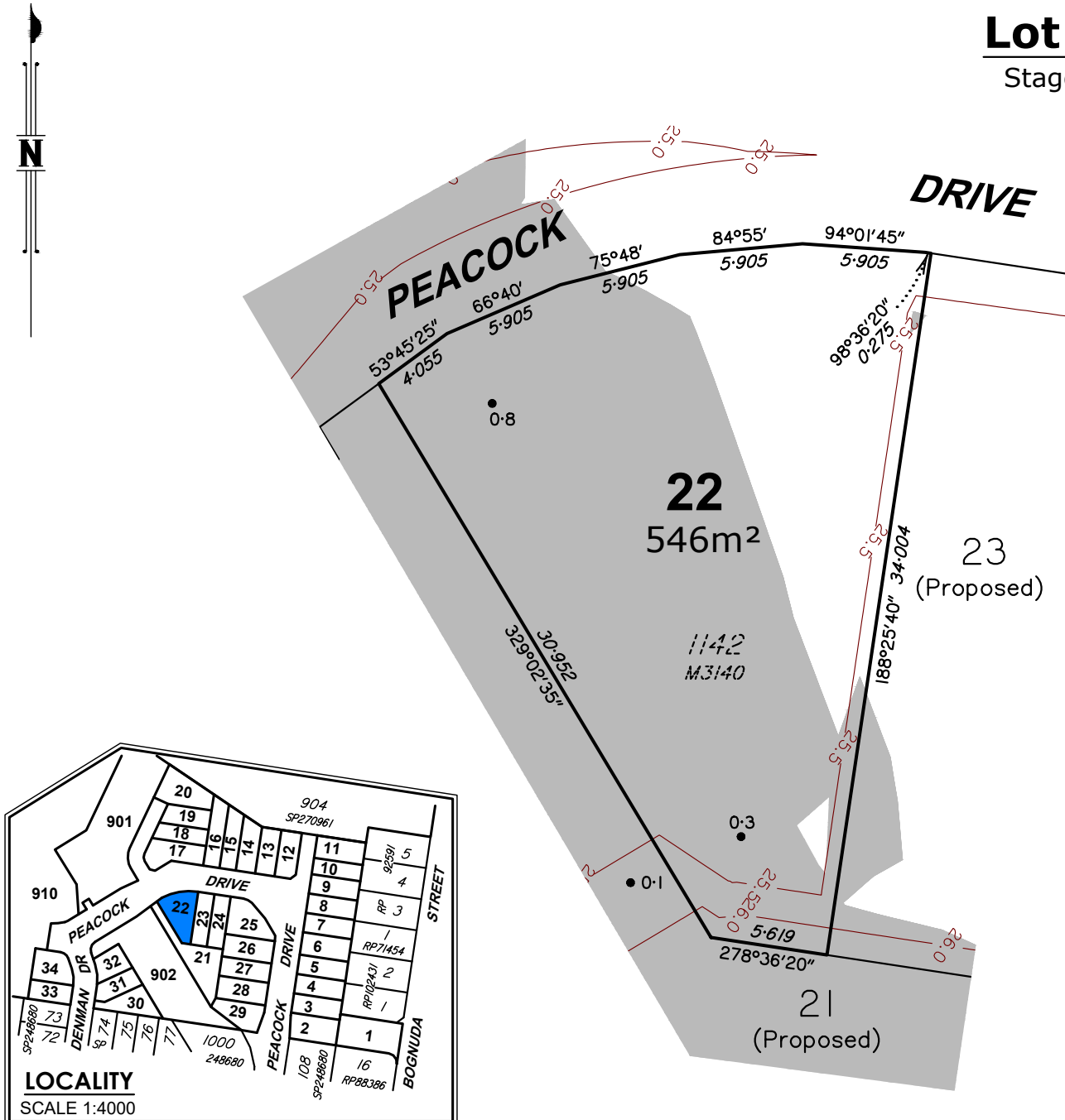
Title: **Disclosure Plan for
Proposed Lot 21 on SP357820**
Bognuda Street, BUNDAMBA,
Being Part of Lot 900 on SP270961

Client:	TIERRA CONSTRUCTION SERVICES PTY LTD		
Locality:	BUNDAMBA		
Local Gov:	ICC	Prepared By:	GJF
Surveyed By:			Approved: JH
Date Created:	1/09/2025	Scale:	1:300
Comp File:	211296.project		
Plan No:	211296_004_DIS		

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Lot 22

Stage 1



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30.129m AHD.
3. Contour Interval : 0.5m Design.
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 22 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

- Approximate Fill Area
- 24 — Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.
- Denotes retaining wall height (H)
- Denotes retaining wall average height (AH)
- 1.0 ● Denotes depth of fill

Scale 1:300

B	Updated Design Information	DJL	9/10/2025
A	Original Issue	GJF	1/09/2025
Issue	Revision	Int	Date



Title: Disclosure Plan for Proposed Lot 22 on SP357820

Bognuda Street, BUNDAMBA,
Being Part of Lot 900 on SP270961

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client: **TIERRA CONSTRUCTION SERVICES PTY LTD**

Locality:	BUNDAMBA		
Local Gov:	ICC	Prepared By:	GJF
Surveyed By:		Approved:	JH
Date Created:	1/09/2025	Scale:	1:300
Comp File:	211296.project		
Plan No:	211296_004 DIS		

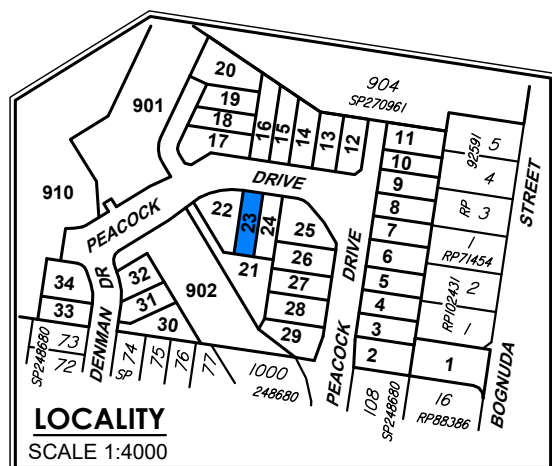
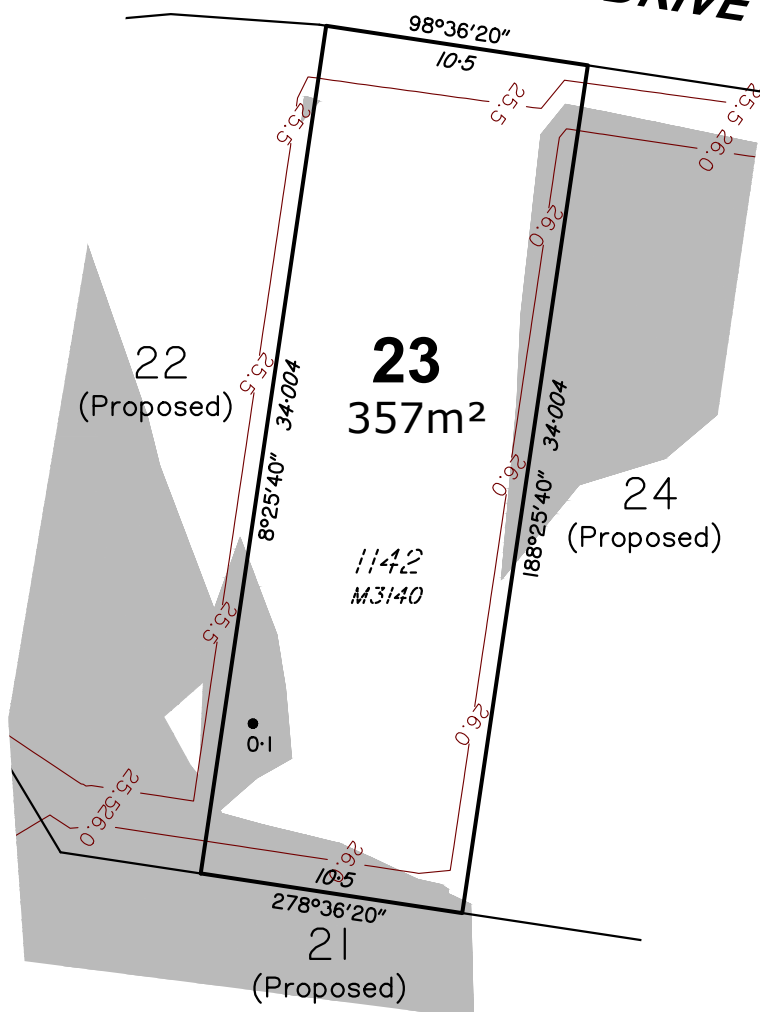


Lot 23

Stage 1

PEACOCK

DRIVE



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30.129m AHD.
3. Contour Interval : 0.5m Design.
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 23 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

H=0.7m
Denotes retaining wall height (H)

AH=0.7m
Denotes retaining wall average height (AH)

I-0 ● Denotes depth of fill

Scale 1:300

B	Updated Design Information	DJL	9/10/2025
A	Original Issue	GJF	1/09/2025
Issue	Revision	Int	Date



Title: Disclosure Plan for Proposed Lot 23 on SP357820

Bognuda Street, BUNDAMBA,
Being Part of Lot 900 on SP270961

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client: **TIERRA CONSTRUCTION SERVICES PTY LTD**

Locality:	BUNDAMBA		
Local Gov:	ICC	Prepared By:	GJF
Surveyed By:		Approved:	JH
Date Created:	1/09/2025	Scale:	1:300
Comp File:	211296.project		
Plan No:	211296 004 DIS		



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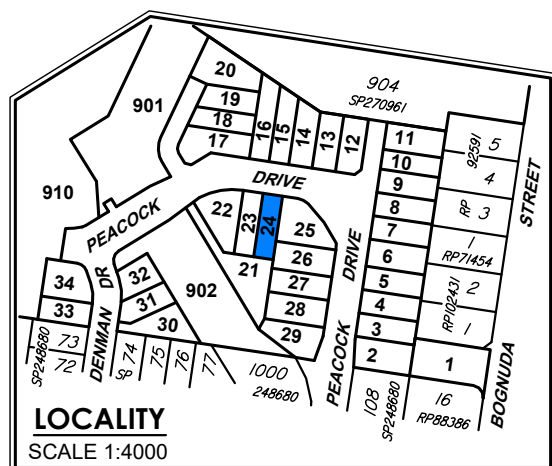
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Lot 24

Stage 1

PEACOCK DRIVE



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30.129m AHD.
3. Contour Interval : 0.5m Design.
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 24 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

H=0.7m
AH=0.7m
Denotes retaining wall height (H)

Denotes retaining wall average height (AH)

I·0 ● Denotes depth of fill

Scale 1:300

B	Updated Design Information	DJL	9/10/2025
A	Original Issue	GJF	1/09/2025
Issue	Revision	Int	Date



Disclosure Plan for Proposed Lot 24 on SP357820

Bognuda Street, BUNDAMBA,
Being Part of Lot 900 on SP270961

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client: **TIERRA CONSTRUCTION SERVICES PTY LTD**

Locality:	BUNDAMBA		
Local Gov:	ICC	Prepared By:	GJF
Surveyed By:		Approved:	JH
Date Created:	1/09/2025	Scale:	1:300
Comp File:	211296.project		
Plan No:	211296 004 DIS		



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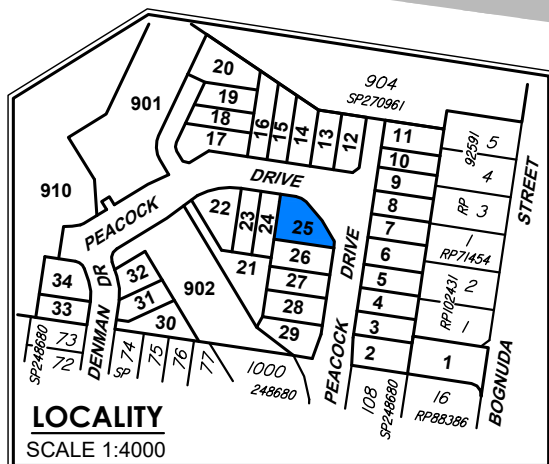
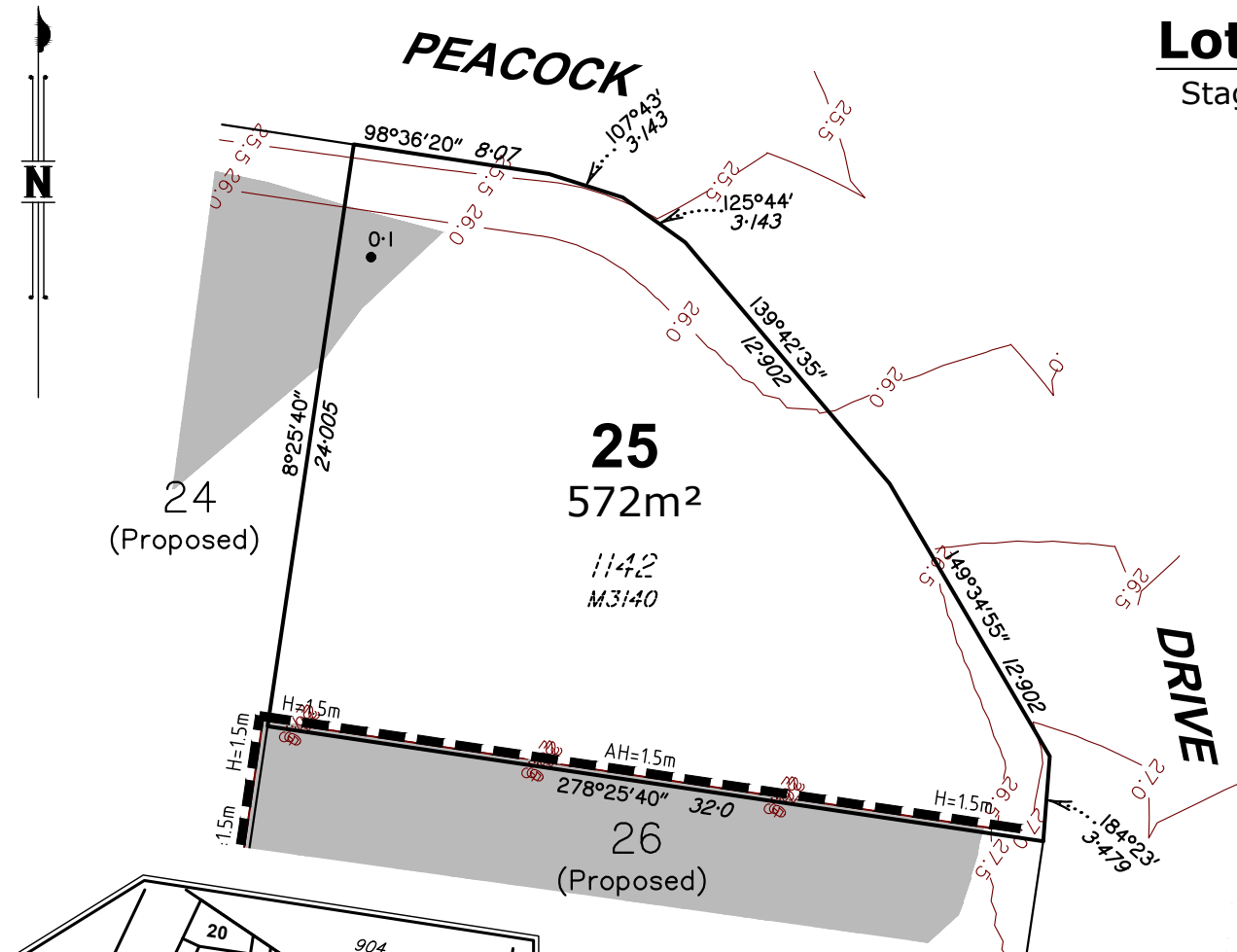
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Lot 25

Stage 1



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30.129m AHD.
3. Contour Interval : 0.5m Design.
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 25 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

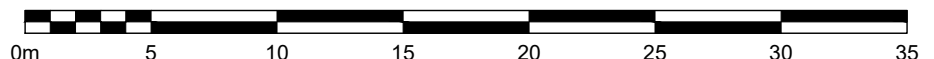
H=0.7m
Denotes retaining wall height (H)

AH=0.7m
Denotes retaining wall average height (AH)

I·0 ● Denotes depth of fill

Scale 1:300

B	Updated Design Information	DJL	9/10/2025
A	Original Issue	GJF	1/09/2025
Issue	Revision	Int	Date



Title: Disclosure Plan for Proposed Lot 25 on SP357820

Bognuda Street, BUNDAMBA,
Being Part of Lot 900 on SP270961

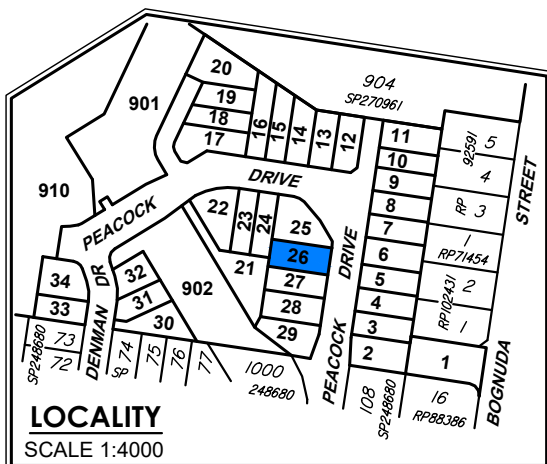
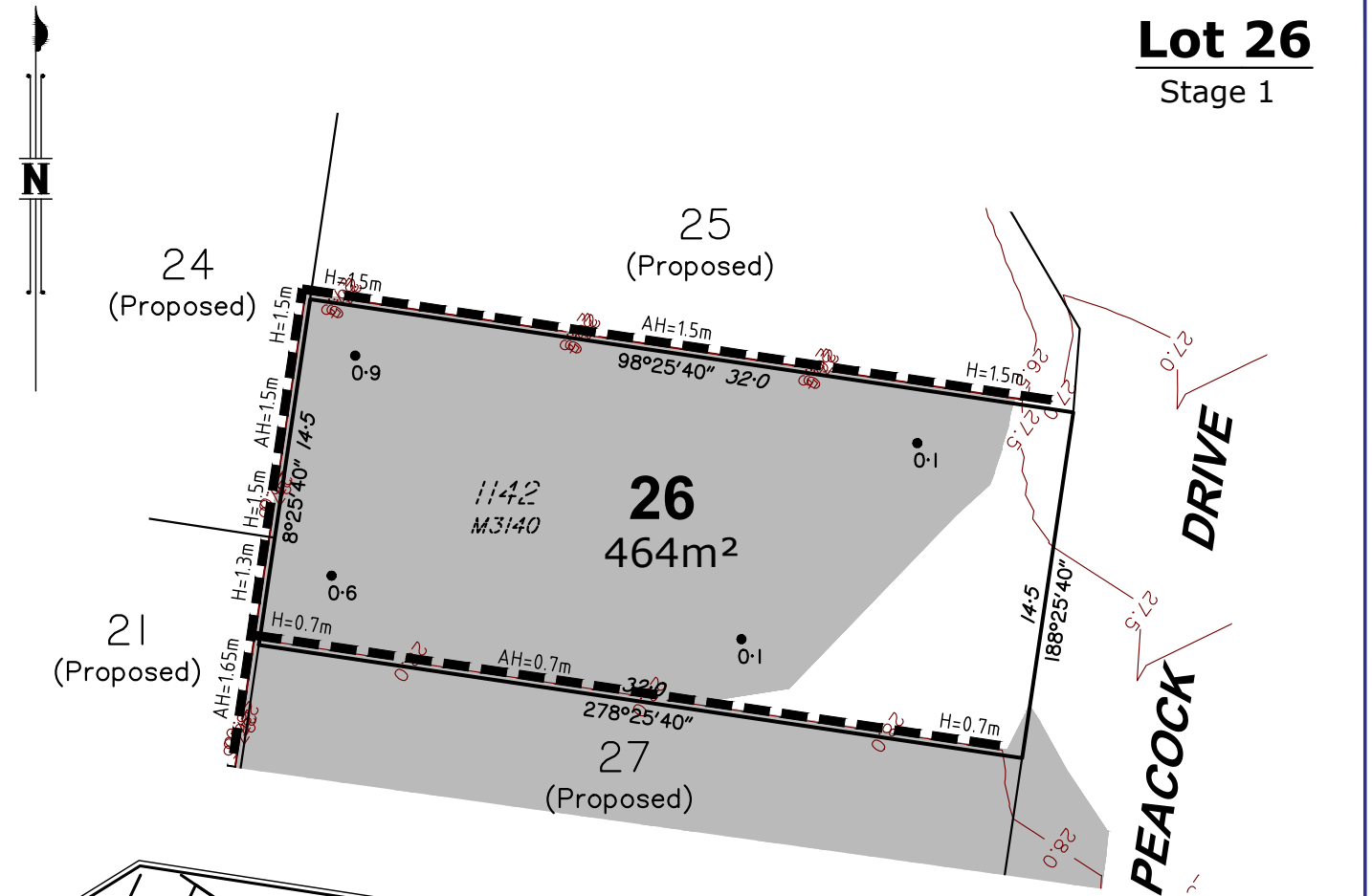
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Client: **TIERRA CONSTRUCTION SERVICES PTY LTD**

Locality:	BUNDAMBA		
Local Gov:	ICC	Prepared By:	GJF
Surveyed By:		Approved:	JH
Date Created:	1/09/2025	Scale:	1:300
Comp File:	211296.project		
Plan No:	211296 004 DIS		

Lot 26

Stage 1



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30.129m AHD.
3. Contour Interval : 0.5m Design.
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 26 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

- Approximate Fill Area
- Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.
- Denotes retaining wall height (H)
- Denotes retaining wall average height (AH)
- Denotes depth of fill

Scale 1:300

B	Updated Design Information	DJL	9/10/2025
A	Original Issue	GJF	1/09/2025
Issue	Revision	Int	Date



Title: Disclosure Plan for Proposed Lot 26 on SP357820

Bognuda Street, BUNDAMBA,
Being Part of Lot 900 on SP270961

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client: **TIERRA CONSTRUCTION SERVICES PTY LTD**

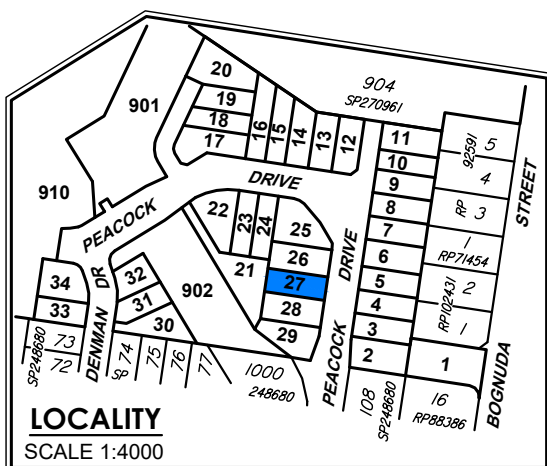
Locality:	BUNDAMBA		
Local Gov:	ICC	Prepared By:	GJF
Surveyed By:		Approved:	JH
Date Created:	1/09/2025	Scale:	1:300
Comp File:	211296.project		
Plan No:	211296 004 DIS		



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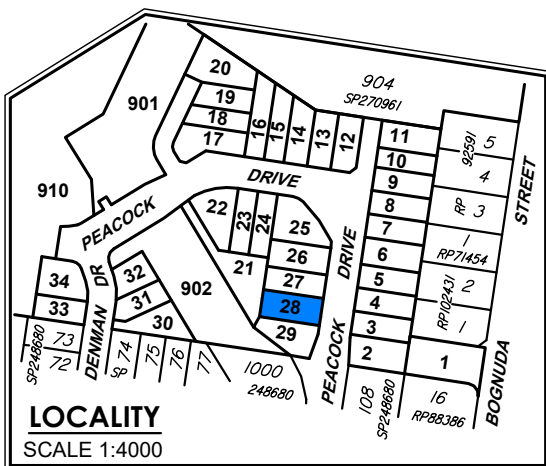
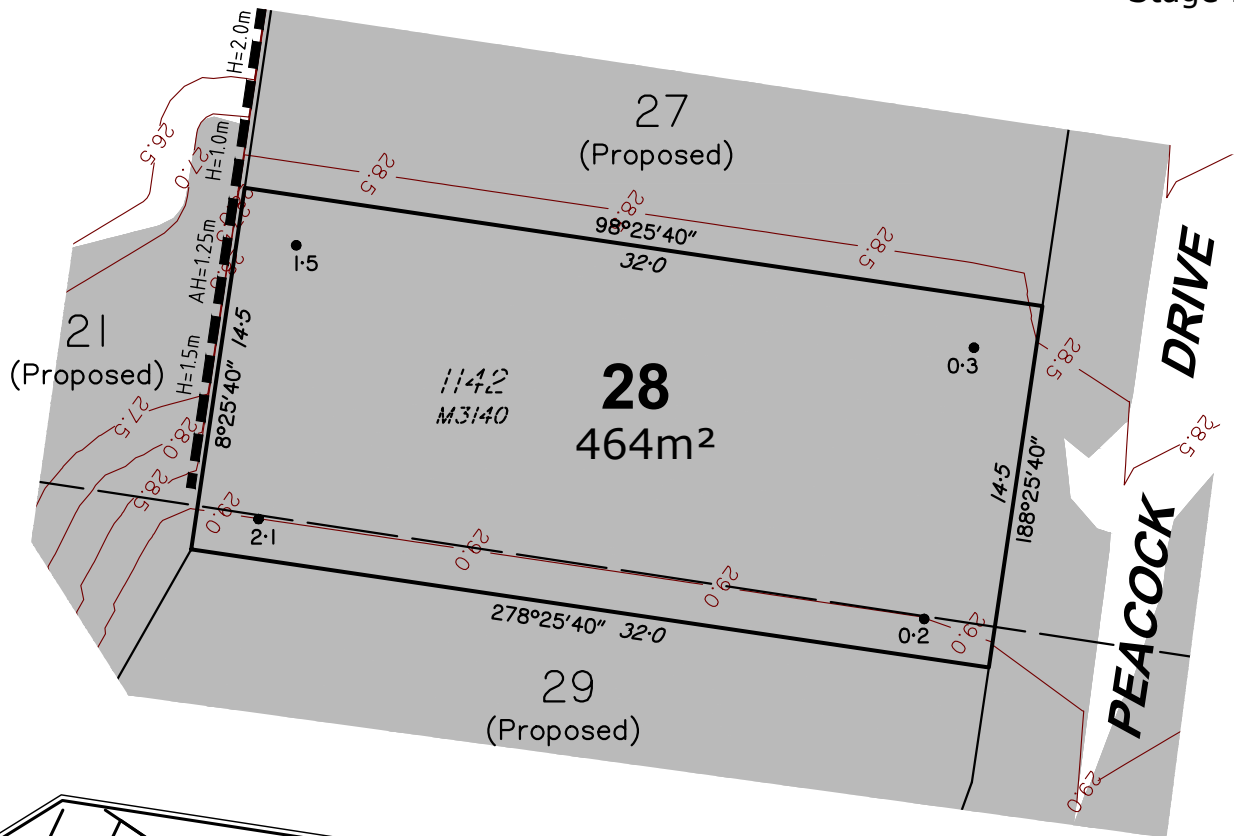
Stage 1



A4

Lot 28

Stage 1



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30.129m AHD.
3. Contour Interval : 0.5m Design.
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 28 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

H=0.7m
AH=0.7m
Denotes retaining wall height (H)

Denotes retaining wall average height (AH)

I-0 ● Denotes depth of fill

Scale 1:300

B	Updated Design Information	DJL	9/10/2025
A	Original Issue	GJF	1/09/2025
Issue	Revision	Int	Date



Title: Disclosure Plan for Proposed Lot 28 on SP357820

Bognuda Street, BUNDAMBA,
Being Part of Lot 900 on SP270961

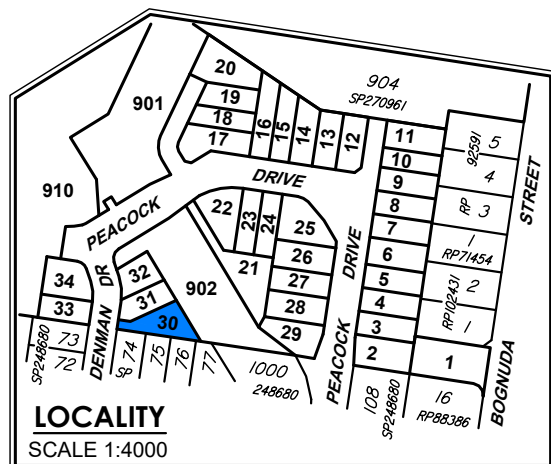
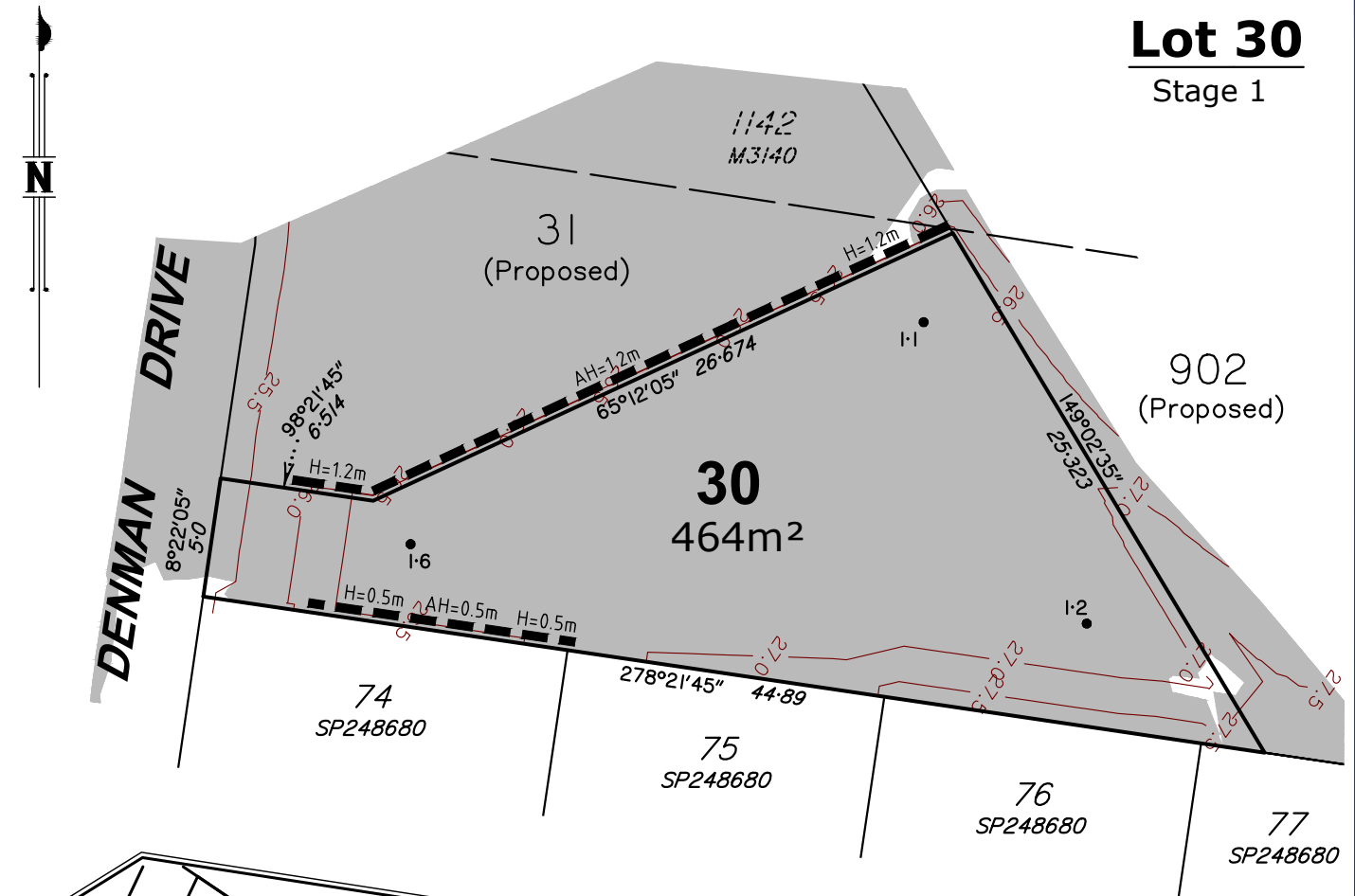
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Client: **TIERRA CONSTRUCTION SERVICES PTY LTD**

Locality:	BUNDAMBA		
Local Gov:	ICC	Prepared By:	GJF
Surveyed By:		Approved:	JH
Date Created:	1/09/2025	Scale:	1:300
Comp File:	211296.project		
Plan No:	211296 004 DIS		

Lot 30

Stage 1



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30.129m AHD.
3. Contour Interval : 0.5m Design.
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 30 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

— 24 — Design Contours

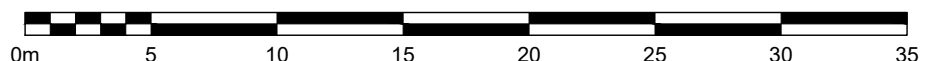
Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

H=0.7m
AH=0.7m
Denotes retaining wall height (H)

Denotes retaining wall average height (AH)

I:0 ● Denotes depth of fill

Scale 1:300



B	Updated Design Information	DJL	9/10/2025
A	Original Issue	GJF	1/09/2025
Issue	Revision	Int	Date

Title: Disclosure Plan for Proposed Lot 30 on SP357820

Bognuda Street, BUNDAMBA,
Being Part of Lot 900 on SP270961

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client: **TIERRA CONSTRUCTION SERVICES PTY LTD**

Locality:	BUNDAMBA		
Local Gov:	ICC	Prepared By:	GJF
Surveyed By:		Approved:	JH
Date Created:	1/09/2025	Scale:	1:300
Comp File:	211296.project		
Plan No:	211296 004 DIS		



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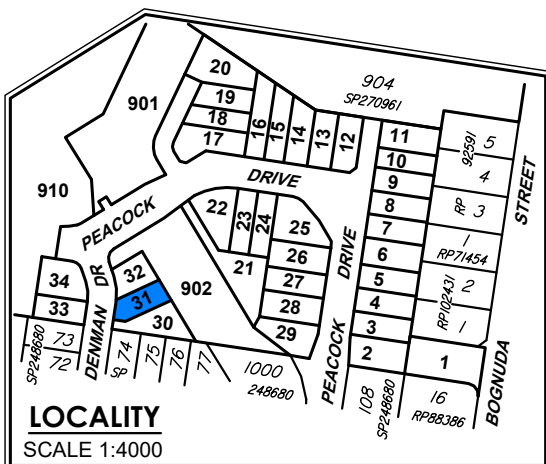
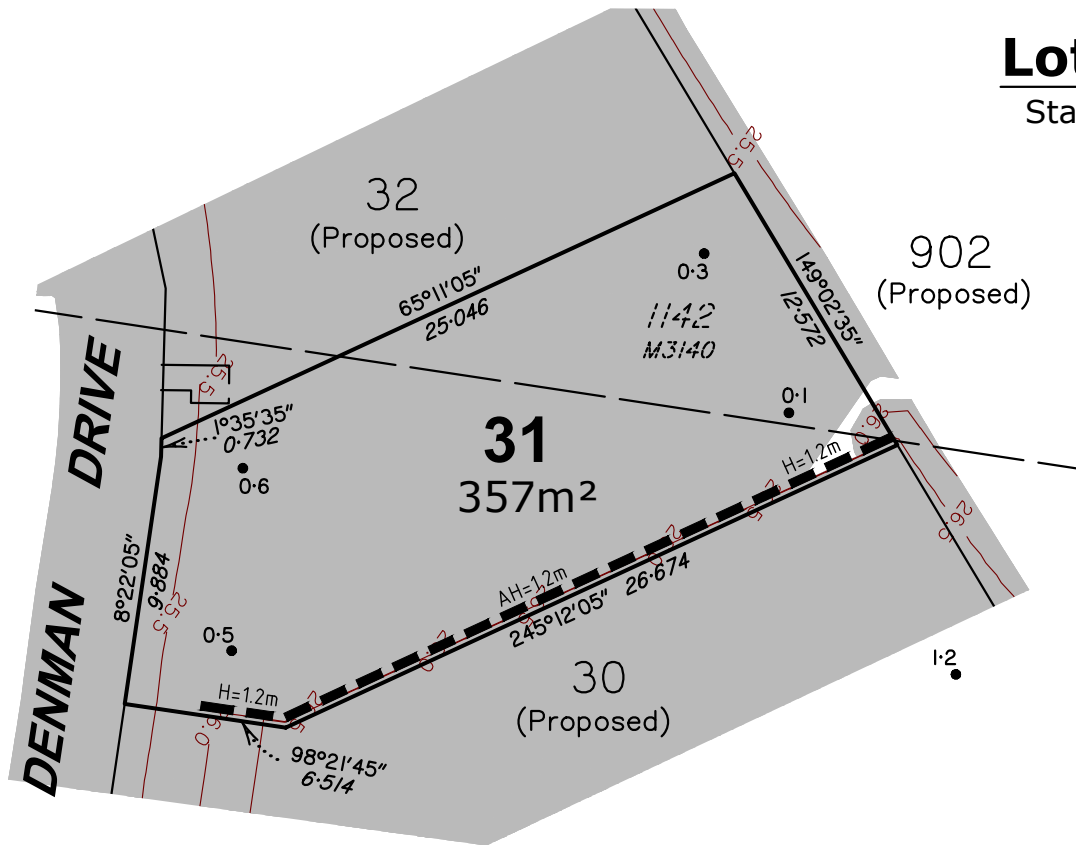
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Lot 31

Stage 1



LEGEND

Approximate Fill Area

— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

H=0.7m
Denotes retaining wall height (H)

AH=0.7m
Denotes retaining wall average height (AH)

I:0 ● Denotes depth of fill

Scale 1:300

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30.129m AHD.
3. Contour Interval : 0.5m Design.
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 31 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

B	Updated Design Information	DJL	9/10/2025
A	Original Issue	GJF	1/09/2025
Issue	Revision	Int	Date



Title: Disclosure Plan for Proposed Lot 31 on SP357820

Bognuda Street, BUNDAMBA,
Being Part of Lot 900 on SP270961

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client: **TIERRA CONSTRUCTION SERVICES PTY LTD**

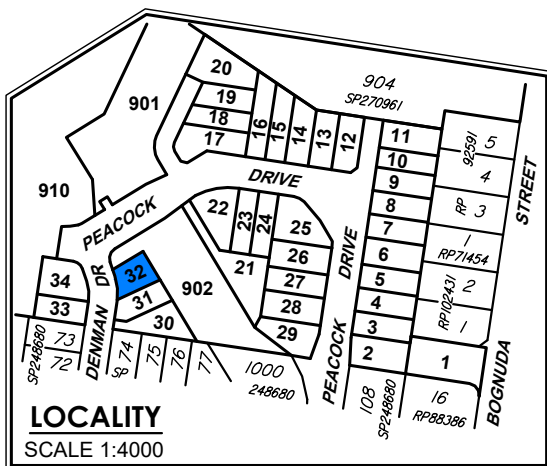
Locality:	BUNDAMBA		
Local Gov:	ICC	Prepared By:	GJF
Surveyed By:		Approved:	JH
Date Created:	1/09/2025	Scale:	1:300
Comp File:	211296.project		
Plan No:	211296 004 DIS		



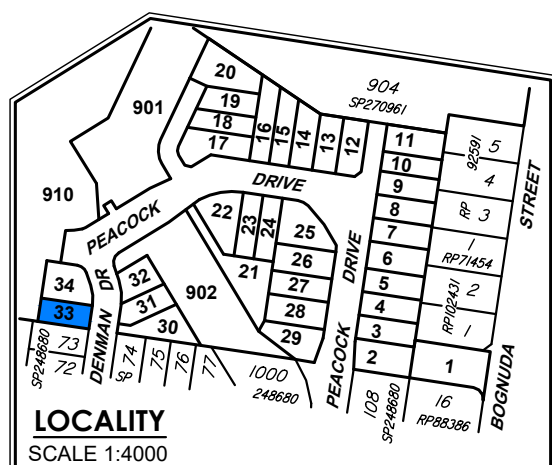
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Stage 1



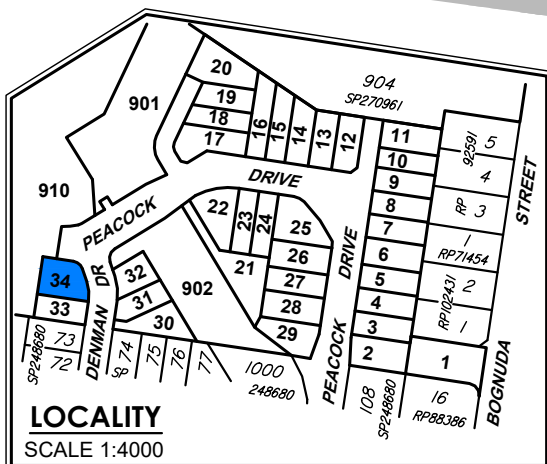
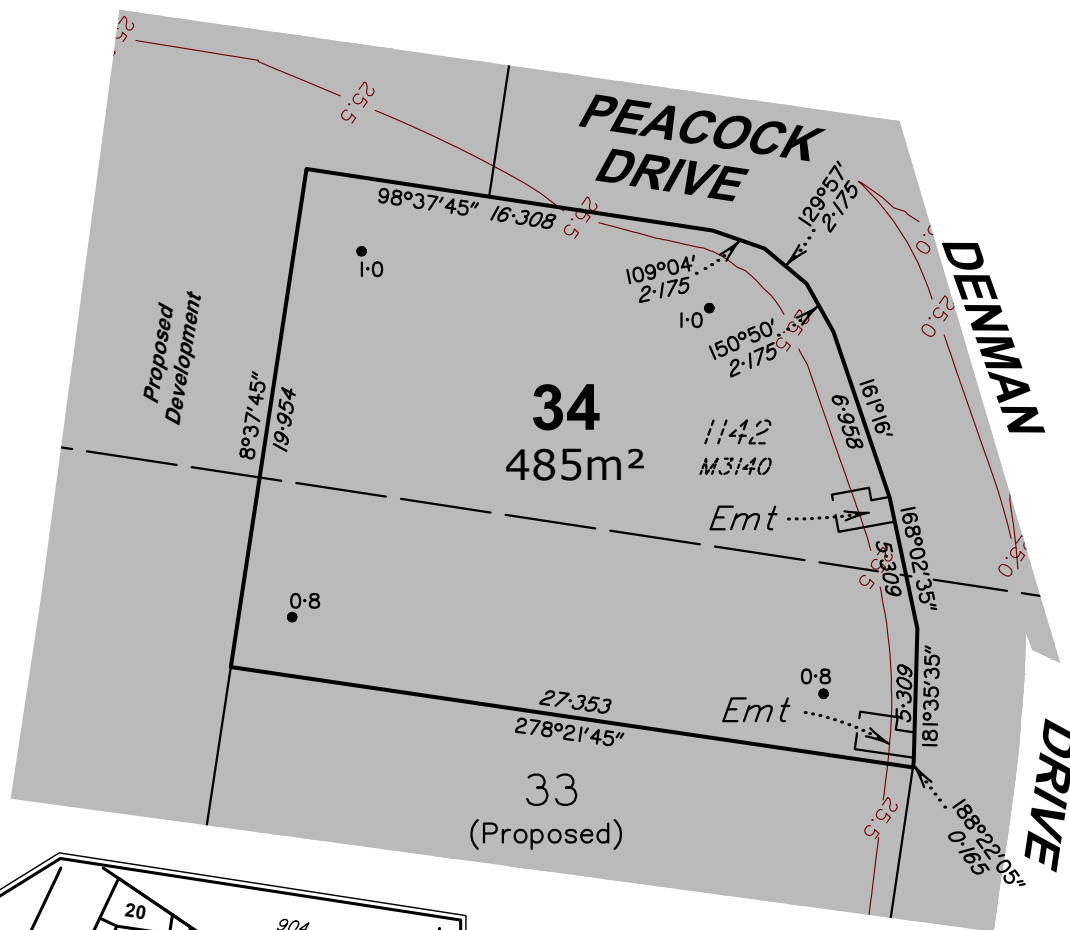
Stage 1



A4

Lot 34

Stage 1



LEGEND

Approximate Fill Area

— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

H=0.7m
Denotes retaining wall height (H)

AH=0.7m
Denotes retaining wall average height (AH)

1.0 ● Denotes depth of fill

Scale 1:300

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30.129m AHD.
3. Contour Interval : 0.5m Design.
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 34 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

B	Updated Design Information	DJL	9/10/2025
A	Original Issue	GJF	1/09/2025
Issue	Revision	Int	Date



Title: Disclosure Plan for Proposed Lot 34 on SP357820

Bognuda Street, BUNDAMBA,
Being Part of Lot 900 on SP270961

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client: **TIERRA CONSTRUCTION SERVICES PTY LTD**

Locality:	BUNDAMBA		
Local Gov:	ICC	Prepared By:	GJF
Surveyed By:		Approved:	JH
Date Created:	1/09/2025	Scale:	1:300
Comp File:	211296.project		
Plan No:	211296 004 DIS		



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