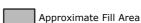


- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30.129m AHD.
- 3. Contour Interval: 0.5m Design.
- All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984
- This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 1 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1



−24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

H = 0.7 mDenotes retaining wall height (H) AH=0.7m Denotes retaining wall average height (AH)

I.O ● Denotes depth of fill

							Scale	: 1:300			
В	Updated Design Information	DJL	9/10/2025								
Α	Original Issue	GJF	1/09/2025	0m	- 5	10	15	20	25	30	35
Issue	Revision	Int	Date	UIII	5	10	13	20	25	30	33

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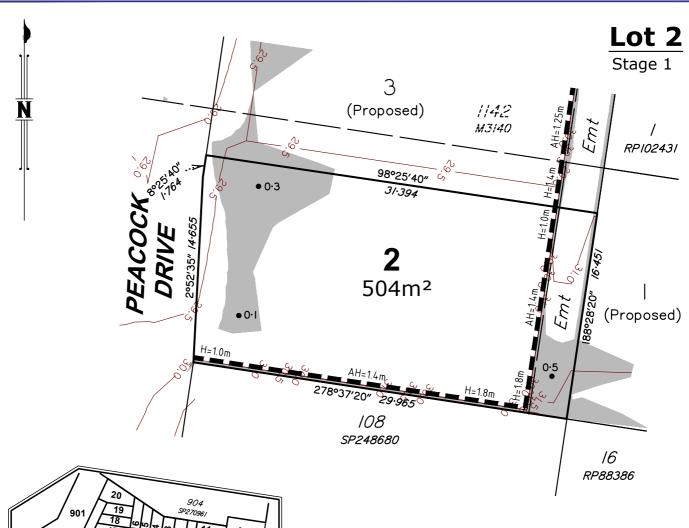
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Disclosure Plan for Title: Proposed Lot 1 on SP357820

Bognuda Street, BUNDAMBA, Being Part of Lot 900 on SP270961

Client:	TIERRA CONSTRUCTION SERVICES PTY LTD							
Locality:	BUNDAMBA							
Local Gov:	ICC	Prepared By:	GJF					
Surveyed By:		Approved:	JH					
Date Created:	1/09/2025	Scale:	1:300					
Comp File:	211296.proje	ect						
Plan No:	211296_0	04_DIS						



Notes:

- 1. Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM60065. RL 30.129m AHD.
- 3. Contour Interval : 0.5m Design.
- 4. All dimensions and areas are subject to final survey and approval by ICC.
- 5. This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 2 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

Title:

LEGEND



— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

H=0.7m Denotes retaining wall height (H)

AH=0.7m Denotes retaining wall average height (AH)

I•0 ● Denotes depth of fill

Scale 1:300

В	Updated Design Information	DJL	9/10/2025								
Α	Original Issue	GJF	1/09/2025	0m	5	10	15	20	25	30	35
Issue	Revision	Int	Date	OIII	5	10	13	20	23	30	33

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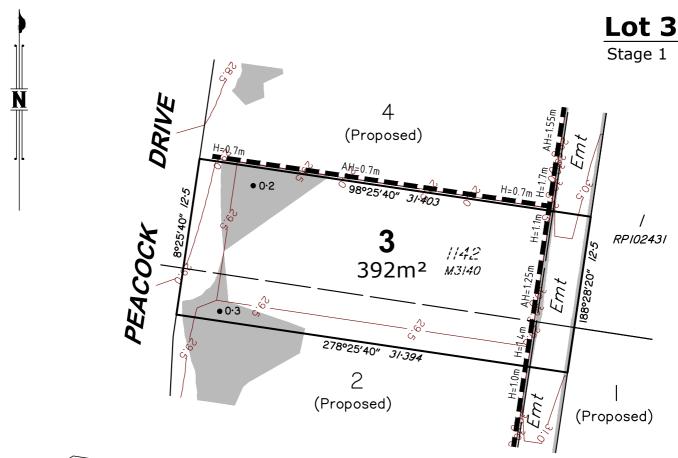
Surveying, Town Planning & Spatial Services
GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

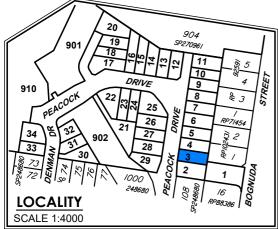
www.bennettandbennett.com.au

Disclosure Plan for Proposed Lot 2 on SP357820

Bognuda Street, BUNDAMBA, Being Part of Lot 900 on SP270961

Client:	TIERRA CONSTRUCTION SERVICES PTY LTD							
Locality:	BUNDAMBA							
Local Gov:	ICC	Prepared By:	GJF					
Surveyed By:		Approved:	JH					
Date Created:	1/09/2025	Scale:	1:300					
Comp File:	211296.proje	ect						
Plan No:	211296_0	04_DIS						





- 1. Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM60065. RL 30.129m AHD.
- 3. Contour Interval : 0.5m Design.
- All dimensions and areas are subject to final survey and approval by ICC.
- 5. This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 3 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

Title:

LEGEND



Approximate Fill Area

— 24 — Design Contours

Client:

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

Denotes retaining wall average h

Denotes retaining wall average height (AH)

1.0 • Denotes depth of fill

Scale 1:300

В	Updated Design Information	DJL	9/10/2025								
Α	Original Issue	GJF	1/09/2025	0m		10	15	20	25	30	
sue	Revision	Int	Date	0m	J	10	13	20	23	30	

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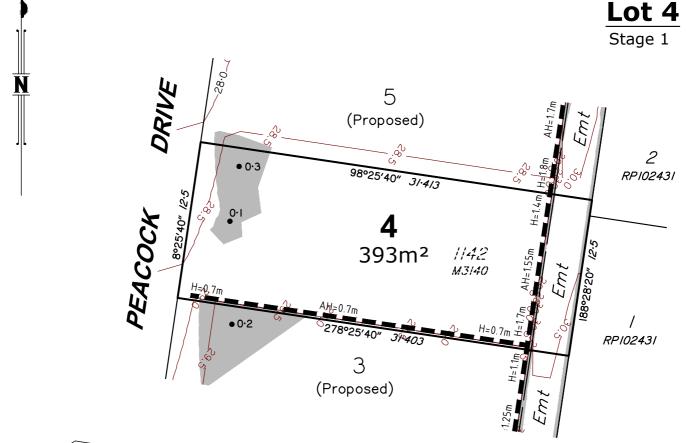
Disclosure Plan for Proposed Lot 3 on SP357820

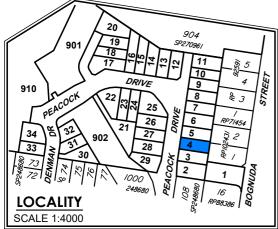
Bognuda Street, BUNDAMBA, Being Part of Lot 900 on SP270961

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

			-					
	SERVICES PTY LTD							
Locality:	BUNDAMBA							
Local Gov:	ICC	Prepared By:	GJF					
Surveyed By:		Approved:	JH					
Date Created:	1/09/2025	Scale:	1:300					
Comp File:	211296.proje	ect						
Plan No:	211296_004_DIS							

TIERRA CONSTRUCTION





- 1. Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM60065. RL 30.129m AHD.
- 3. Contour Interval : 0.5m Design.
- 4. All dimensions and areas are subject to final survey and approval by ICC.
- 5. This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 4 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

Title:

LEGEND



Approximate Fill Area

— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

H=0.7m Denotes retaining wall average his

Denotes retaining wall average height (AH)

I•0 ● Denotes depth of fill

Scale 1:300

В	Updated Design Information	DJL	9/10/2025								
Α	Original Issue	GJF	1/09/2025	0m	5	10	15	20	25	30	35
Issue	Revision	Int	Date	OIII	3	10	13	20	23	30	33

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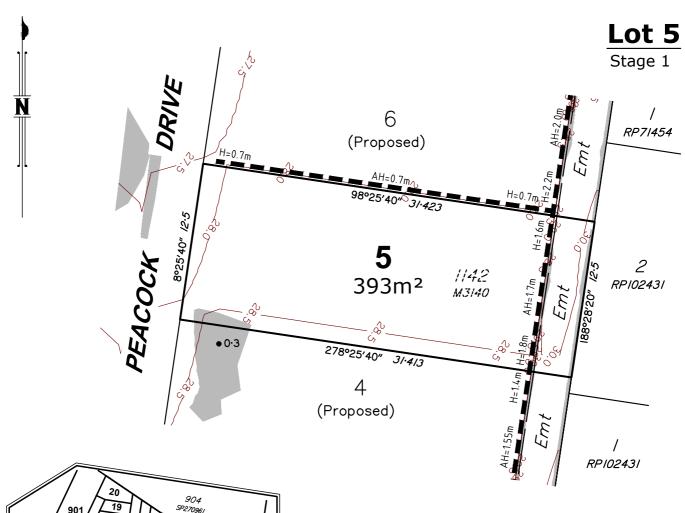
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GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

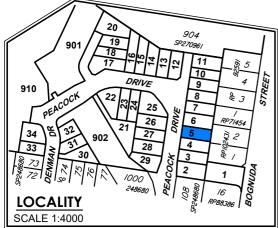
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Disclosure Plan for Proposed Lot 4 on SP357820

Bognuda Street, BUNDAMBA, Being Part of Lot 900 on SP270961

Client:	TIERRA CONSTRUCTION									
	SERVICES PTY LTD									
Locality:	BUNDAMBA									
Local Gov:	ICC	Prepared By:	GJF							
Surveyed By:		Approved:	JH							
Date Created:	1/09/2025	Scale:	1:300							
Comp File:	211296.proje	ect								
Plan No:	211296_0	04_DIS								





- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30,129m AHD.
- 3. Contour Interval: 0.5m Design.
- All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984
- This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 5 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1

Title:

LEGEND



Approximate Fill Area

−24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

H = 0.7 mDenotes retaining wall height (H) AH<u>=0.</u>7m

Denotes retaining wall average height (AH)

I·O ● Denotes depth of fill

Scale 1:300

В	Updated Design Information	DJL	9/10/2025								
Α	Original Issue	GJF	1/09/2025	0m	5	10	15	20	25	30	35
Issue	Revision	Int	Date	OIII	3	10	13	20	25	30	55

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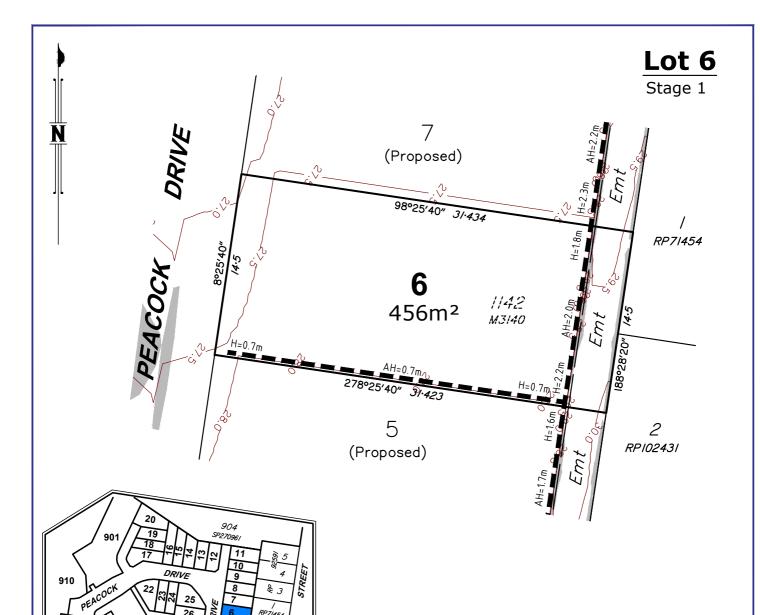
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Disclosure Plan for Proposed Lot 5 on SP357820

Bognuda Street, BUNDAMBA, Being Part of Lot 900 on SP270961

Client:	TIERRA CONSTRUCTION							
	SERVICES PTY LTD							
Locality:	BUNDAMBA							
Local Gov:	ICC	Prepared By:	GJF					
Surveyed By:		Approved:	JH					
Date Created:	1/09/2025	1/09/2025 Scale: 1						
Comp File:	211296.proje	ect						
Plan No:	211296_0	04_DIS						



Drawn to Scale on A4 sheet.

LOCALITY SCALE 1:4000

All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30,129m AHD.

28

1000

- 3. Contour Interval: 0.5m Design.
- All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984
- This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.

16

Title:

- This plan shows details of Proposed Lot 6 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1

LEGEND



Approximate Fill Area

−24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

H = 0.7 mDenotes retaining wall height (H) AH<u>=0.</u>7m Denotes retaining wall average height (AH)

I.O ● Denotes depth of fill

Scale 1:300

В	Updated Design Information	DJL	9/10/2025								
Α	Original Issue	GJF	1/09/2025	0m	5	10	15	20	25	30	35
Issue	Revision	Int	Date	OIII	3	10	13	20	23	30	33

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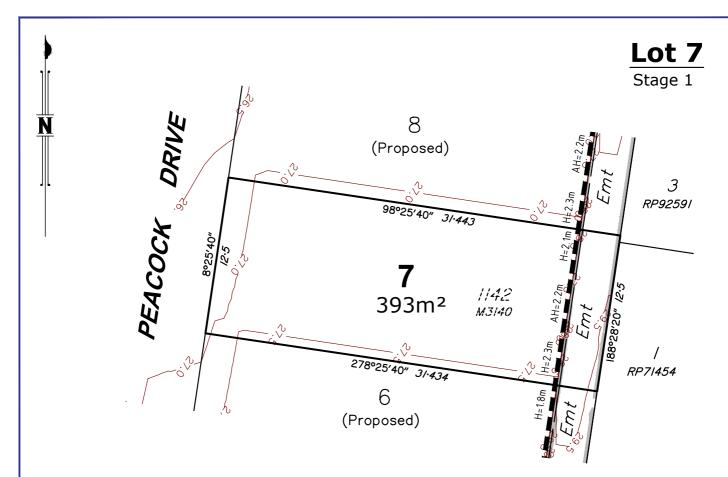
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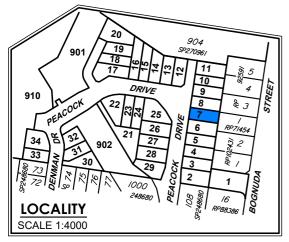
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Disclosure Plan for Proposed Lot 6 on SP357820

Bognuda Street, BUNDAMBA, Being Part of Lot 900 on SP270961

Plan No:	211296_004_DIS								
Comp File:	211296.proje	ct							
Date Created:	1/09/2025	Scale:	1:300						
Surveyed By:		Approved:	JH						
Local Gov:	ICC	Prepared By:	GJF						
Locality:	BUNDAMBA								
Client:	SERVICES PTY LTD								





- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30,129m AHD.
- 3. Contour Interval: 0.5m Design.
- All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984
- This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 7 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1

Title:

LEGEND



Approximate Fill Area

−24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

Denotes retaining wall average height (AH)

H = 0.7 mDenotes retaining wall height (H) AH<u>=0.</u>7m

I.O ● Denotes depth of fill

Scale 1:300

В	Updated Design Information	DJL	9/10/2025							
Α	Original Issue	GJF	1/09/2025	0m		10	15	20	25	30
Issue	Revision	Int	Date	OIII	3	10	13	20	23	30

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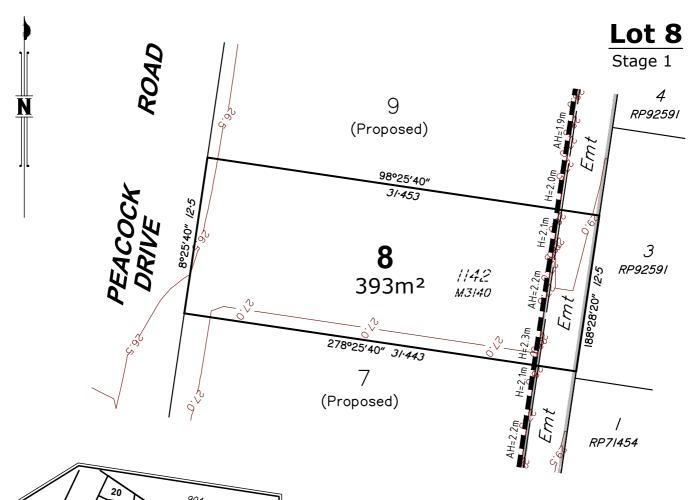
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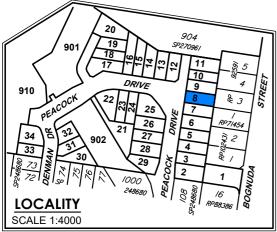
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Disclosure Plan for Proposed Lot 7 on SP357820

Bognuda Street, BUNDAMBA, Being Part of Lot 900 on SP270961

Client: TIERRA CONSTRUCTION SERVICES PTY LTD						
Locality:	BUNDAMBA					
Local Gov:	ICC	Prepared By:	GJF			
Surveyed By:		Approved:	JH			
Date Created:	1/09/2025	Scale:	1:300			
Comp File:	211296.project					
Plan No:	211296_0	04_DIS				

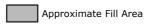




- 1. Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM60065. RL 30.129m AHD.
- 3. Contour Interval : 0.5m Design.
- All dimensions and areas are subject to final survey and approval by ICC.
- 5. This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 8 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

Title:

LEGEND



— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

H=0.7m Denotes retaining wall average he

Denotes retaining wall average height (AH)

I·O ● Denotes depth of fill

Scale 1:300

В	Updated Design Information	DJL	9/10/2025								
Α	Original Issue	GJF	1/09/2025	0m	5	10	15	20	25	30	35
Issue	Revision	Int	Date	OIII	5	10	13	20	23	30	33

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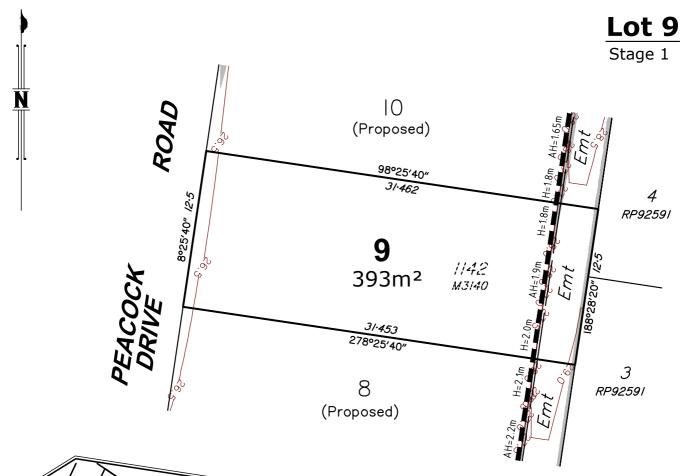
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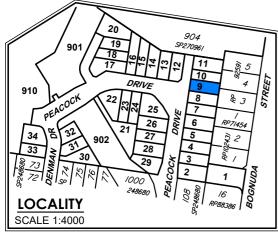
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Disclosure Plan for Proposed Lot 8 on SP357820

Bognuda Street, BUNDAMBA, Being Part of Lot 900 on SP270961

Client:	SERVICES PTY LTD						
Locality:	BUNDAMBA						
Local Gov:	ICC	Prepared By:	GJF				
Surveyed By:		Approved:	JH				
Date Created:	1/09/2025	Scale:	1:300				
Comp File:	211296.proje	ect					
Plan No:	211296_0	04_DIS					





- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30,129m AHD.
- 3. Contour Interval: 0.5m Design.
- All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984
- This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 9 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1

LEGEND



Approximate Fill Area

−24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

Denotes retaining wall average height (AH)

H=0.7m Denotes retaining wall height (H) <u>A</u>H=0.7m

I.O ● Denotes depth of fill

Client:

Scale 1:300

В	Updated Design Information	DJL	9/10/2025							
Α	Original Issue	GJF	1/09/2025	0m		10	15	20	25	30
Issue	Revision	Int	Date	OIII	3	10	13	20	23	30

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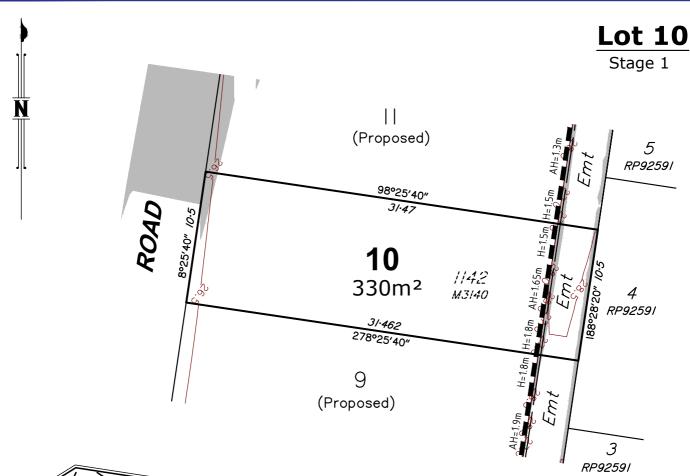
Disclosure Plan for Title: Proposed Lot 9 on SP357820

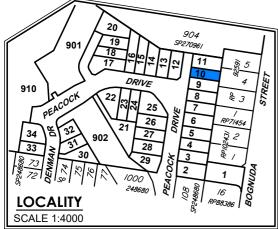
Bognuda Street, BUNDAMBA, Being Part of Lot 900 on SP270961

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

	SERVICES PTY LTD						
Locality:	BUNDAMBA						
Local Gov:	ICC	Prepared By:	GJF				
Surveyed By:		Approved:	JH				
Date Created:	1/09/2025	Scale:	1:300				
Comp File:	211296.proje	211296.project					
Plan No:	211296_0	04_DIS					

TIERRA CONSTRUCTION





- 1. Drawn to Scale on A4 sheet.
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- 3. Contour Interval : 0.5m Design.
- All dimensions and areas are subject to final survey and approval by ICC.
- 5. This plan has been prepared for disclosure under the Land Sales Act 1984.
- 6. This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 10 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



Approximate Fill Area

— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

Denotes retaining wall height (H)

AH=0.7m

Denotes retaining wall average he

Denotes retaining wall average height (AH)

I•0 ● Denotes depth of fill

Scale 1:300

В	Updated Design Information	DJL	9/10/2025								
Α	Original Issue	GJF	1/09/2025	0m	5	10	15	20	25	30	35
Issue	Revision	Int	Date	OIII	J	10	13	20	25	30	33

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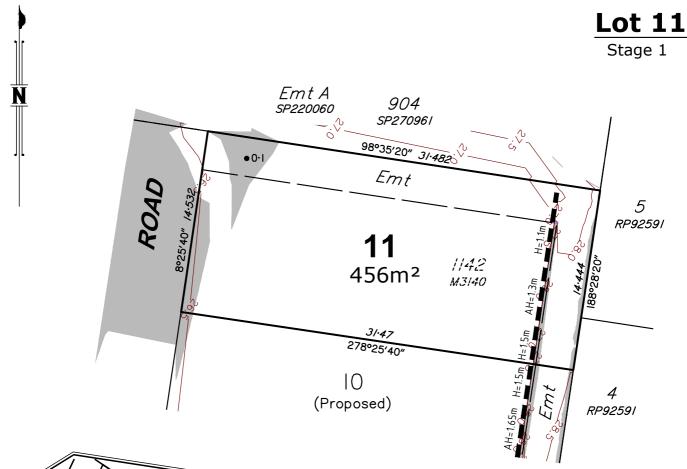
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GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

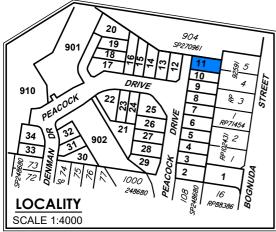
www.bennettandbennett.com.au

Title: Disclosure Plan for Proposed Lot 10 on SP357820

Bognuda Street, BUNDAMBA, Being Part of Lot 900 on SP270961

Client: TIERRA CONSTRUCTION									
	SERVICES PTY LTD								
Locality:	BUNDAMBA								
Local Gov:	ICC	Prepared By:	GJF						
Surveyed By:		Approved:	JH						
Date Created:	1/09/2025	Scale:	1:300						
Comp File:	File: 211296.project								
Plan No:	211296_0	04_DIS							





- 1. Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM60065. RL 30.129m AHD.
- 3. Contour Interval : 0.5m Design.
- All dimensions and areas are subject to final survey and approval by ICC.
- 5. This plan has been prepared for disclosure under the Land Sales Act 1984.
- 6. This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 11 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



Approximate Fill Area

— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

H=0.7m Denotes retaining wall height (H)
AH=0.7m

Denotes retaining wall average height (AH)

I•0 ● Denotes depth of fill

Scale 1:300

							Coulo	1.000			
В	Updated Design Information	DJL	9/10/2025								
Α	Original Issue	GJF	1/09/2025	0m	5	10	15	20	25	30	35
Issue	Revision	Int	Date	OIII	3	10	10	20	25	30	33

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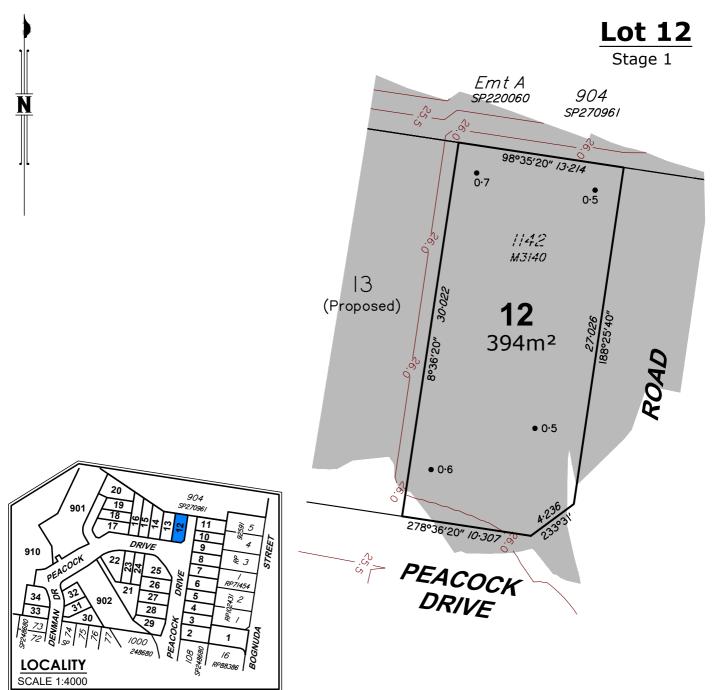
Surveying, Town Planning & Spatial Services
GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

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Title: Disclosure Plan for Proposed Lot 11 on SP357820

Bognuda Street, BUNDAMBA, Being Part of Lot 900 on SP270961

Client:	TIERRA CONSTRUCTION SERVICES PTY LTD						
Locality:	BUNDAMBA						
Local Gov:	ICC	Prepared By:	GJF				
Surveyed By:		Approved:	JH				
Date Created:	1/09/2025	Scale:	1:300				
Comp File:	211296.proje	ect					
Plan No:	211296_0	04_DIS					



- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30.129m AHD.
- 3. Contour Interval: 0.5m Design.
- All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984
- This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 12 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1

LEGEND



−24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

H=0.7m Denotes retaining wall height (H) <u>A</u>H=0.7m

Denotes retaining wall average height (AH)

I.O ● Denotes depth of fill

Client:

Scale 1:300

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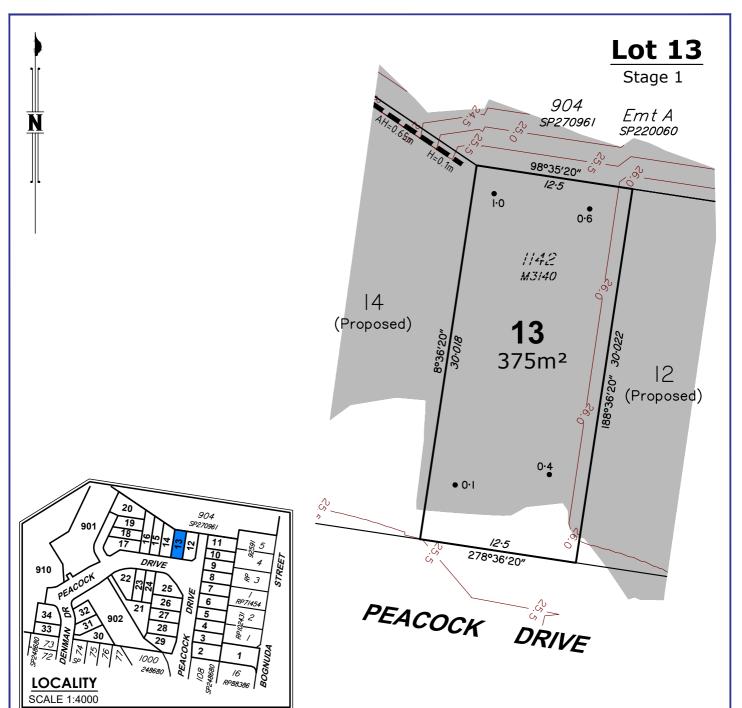
Disclosure Plan for Title: Proposed Lot 12 on SP357820

Bognuda Street, BUNDAMBA, Being Part of Lot 900 on SP270961

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

	SERVICES	PTY LTD			
Locality:	BUNDAMBA				
Local Gov:	ICC	Prepared By:	GJF		
Surveyed By:		Approved:	JH		
Date Created:	1/09/2025	Scale:	1:300		
Comp File:	211296.proje	211296.project			
Plan No:	211296_004_DIS				

TIERRA CONSTRUCTION



- 1. Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM60065. RL 30.129m AHD.
- 3. Contour Interval : 0.5m Design.
- 4. All dimensions and areas are subject to final survey and approval by ICC.
- 5. This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 13 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
- 8. The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



Approximate Fill Area

— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

Denotes retaining wall height (H)

AH=0.7m

Denotes retaining wall average he

Denotes retaining wall average height (AH)

I•0 ● Denotes depth of fill

Scale 1:300

В	Updated Design Information	DJL	9/10/2025								
Α	Original Issue	GJF	1/09/2025	0m	5	10	15	20	25	30	35
Issue	Revision	Int	Date	OIII	5	10	13	20	23	30	33

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www.bennettandbennett.com.au

Title: Disclosure Plan for Proposed Lot 13 on SP357820

Bognuda Street, BUNDAMBA, Being Part of Lot 900 on SP270961

Client:	TIERRA CONSTRUCTION						
	SERVICES PTY LTD						
Locality:	BUNDAMBA						
Local Gov:	ICC	Prepared By:	GJF				
Surveyed By:		Approved:	JH				
Date Created:	1/09/2025	1/09/2025 Scale: 1:3					
Comp File:	211296.project						
Plan No:	211296_0	04_DIS					



<u>Lot 14</u>

Stage 1

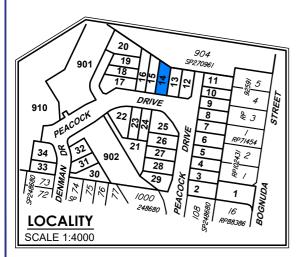


M3/40

1142

412m² |3

0.9



PEACOCK DRIVE

Notes:

- 1. Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM60065. RL 30.129m AHD.
- 3. Contour Interval : 0.5m Design.
- 4. All dimensions and areas are subject to final survey and approval by ICC.
- 5. This plan has been prepared for disclosure under the Land Sales Act 1984.
- 6. This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 14 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



Approximate Fill Area

— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

H=0.7m Denotes retaining wall height (H)

 $\frac{\text{AH=0.7m}}{\text{MH=0.7m}}$ Denotes retaining wall average height (AH)

I·O ● Denotes depth of fill

Scale 1:300

В	Updated Design Information	DJL	9/10/2025								
Α	Original Issue	GJF	1/09/2025	0m	5	10	15	20	25	30	35
Issue	Revision	Int	Date	OIII	3	10	13	20	25	30	33



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Title: Disclosure Plan for Proposed Lot 14 on SP357820

Bognuda Street, BUNDAMBA, Being Part of Lot 900 on SP270961

Client:	TIERRA CONSTRUCTION SERVICES PTY LTD					
Locality:	BUNDAMBA					
Local Gov:	ICC	Prepared By:	GJF			
Surveyed By:		Approved:	JH			
Date Created:	1/09/2025	Scale:	1:300			
Comp File:	211296.project					
Plan No:	211296_004_DIS					



Stage 1 Emt A SP220060 904 SP270961 1.6 1142 M3/40 16 15 (Proposed) 404m² 14 (Proposed) 0.1 • 0.1 10.5 278°36′20″ PEACOCK DRIVE

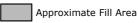
Lot 15



Notes:

- 1. Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM60065. RL 30.129m AHD.
- 3. Contour Interval : 0.5m Design.
- 4. All dimensions and areas are subject to final survey and approval by ICC.
- 5. This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 15 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

Denotes retaining wall average h

Denotes retaining wall average height (AH)

I•0 ● Denotes depth of fill

Scale 1:300

В	Updated Design Information	DJL	9/10/2025
Α	Original Issue	GJF	1/09/2025
Issue	Revision	Int	Date

25								
25	0m	5	10	15	20	25	30	35

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Title: Disclosure Plan for Proposed Lot 15 on SP357820

Bognuda Street, BUNDAMBA, Being Part of Lot 900 on SP270961

Client:	TIERRA CONSTRUCTION SERVICES PTY LTD					
Locality:	BUNDAMBA					
Local Gov:	ICC Prepared B		GJF			
Surveyed By:		Approved:	JH			
Date Created:	1/09/2025	Scale:	1:300			
Comp File:	211296.project					
Plan No:	211296_004_DIS					



LEGEND

Approximate Fill Area

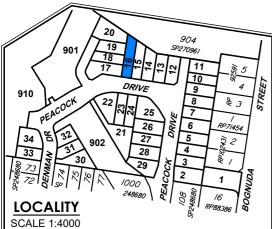
- Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

Denotes retaining wall height (H)

Denotes retaining wall average height (AH)

I·O ● Denotes depth of fill



Notes:

- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30.129m AHD.
- 3. Contour Interval: 0.5m Design.
- All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984
- This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 16 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1

В	Updated Design Information	DJL	9/10/2025
Α	Original Issue	GJF	1/09/2025
Issue	Revision	Int	Date

Scale 1:300 10 20 25 30 35 0m 15

278°36′20″ PEACOCK DRIVE



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Disclosure Plan for Title: Proposed Lot 16 on SP357820

Bognuda Street, BUNDAMBA, Being Part of Lot 900 on SP270961

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:	TIERRA CONSTRUCTION SERVICES PTY LTD					
Locality:	BUNDAMBA					
Local Gov:	ICC	GJF				
Surveyed By:		Approved:	JH			
Date Created:	1/09/2025	Scale:	1:300			
Comp File:	211296.project					
Plan No:	211296_00	04_DIS				

Lot 16 Stage 1

> Emt A SP220060

> > 15

(Proposed)

904 SP270961

20 (Proposed)

19

(Proposed)

18

(Proposed)

(Proposed)

0.3

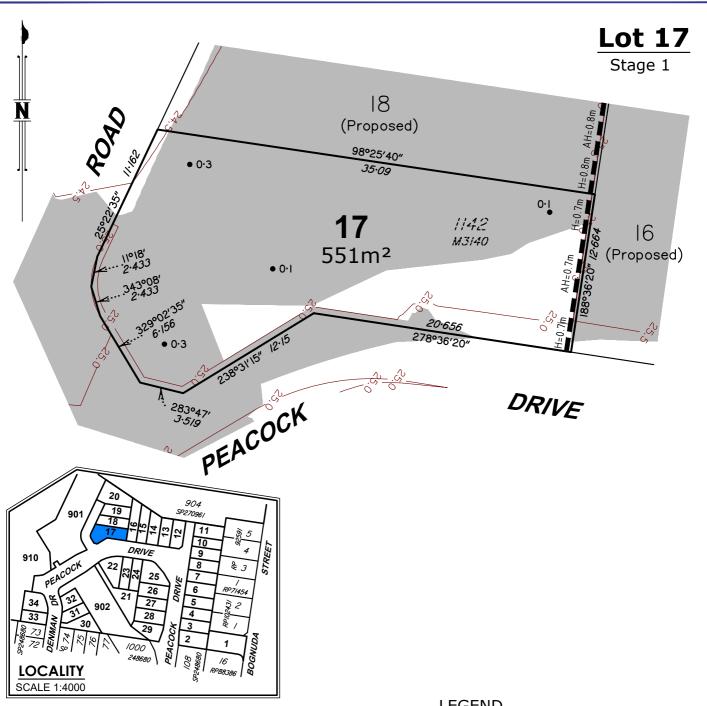
//42

M3/40

457m²

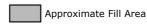
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1.6



- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30.129m AHD.
- 3. Contour Interval: 0.5m Design.
- All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984
- This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 17 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1

LEGEND



-24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

H = 0.7 mDenotes retaining wall height (H) AH=0.7m

I·O ● Denotes depth of fill

Denotes retaining wall average height (AH)

Scale 1:300

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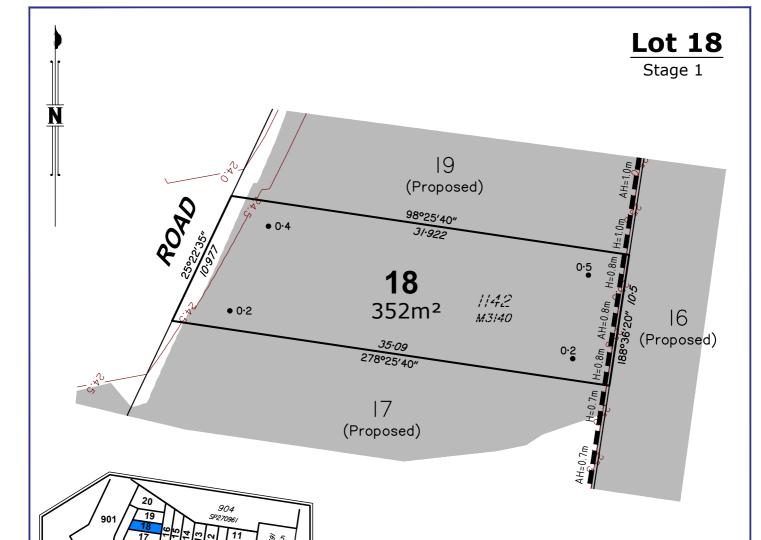
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www.bennettandbennett.com.au

Disclosure Plan for Title: Proposed Lot 17 on SP357820

Bognuda Street, BUNDAMBA, Being Part of Lot 900 on SP270961

Client:	TIERRA CONSTRUCTION						
	SERVICES	PTY LTD					
Locality:	BUNDAMBA	BUNDAMBA					
Local Gov:	ICC	Prepared By:	GJF				
Surveyed By:		Approved:	JH				
Date Created:	1/09/2025	1/09/2025 Scale:					
Comp File:	211296.project						
Plan No:	211296_0	04_DIS					



Drawn to Scale on A4 sheet.

LOCALITY SCALE 1:4000

All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30.129m AHD.

DRIV

28

1000

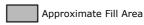
- 3. Contour Interval: 0.5m Design.
- All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984
- This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.

4

16

- This plan shows details of Proposed Lot 18 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1

LEGEND



−24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

Denotes retaining wall average height (AH)

H = 0.7 mDenotes retaining wall height (H) <u>A</u>H=0.7m

I·O ● Denotes depth of fill

Scale 1:300

В	Updated Design Information	DJL	9/10/2025								
Α	Original Issue	GJF	1/09/2025	0m	5	10	15	20	25	30	35
Issue	Revision	Int	Date	OIII	5	10	13	20	23	30	33

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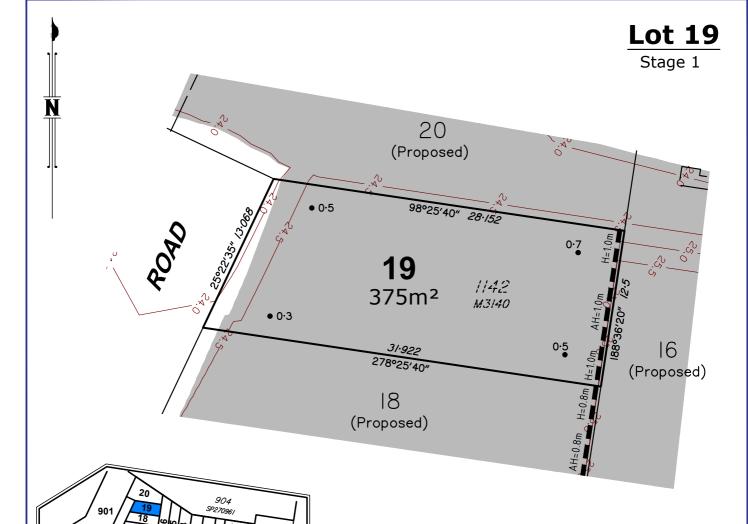
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Disclosure Plan for Title: Proposed Lot 18 on SP357820

Bognuda Street, BUNDAMBA, Being Part of Lot 900 on SP270961

Plan No:	211296_00	4_DIS				
Comp File:	211296.projed	t				
Date Created:	1/09/2025	Scale:	1:300			
Surveyed By:		Approved:	JH			
Local Gov:	ICC	Prepared By:	GJF			
Locality:	BUNDAMBA					
Client:	SERVICES PTY LTD					



1. Drawn to Scale on A4 sheet.

SCALE 1:4000

All levels are in metres on Australian Height Datum as determined by PSM60065. RL 30.129m AHD.

1000

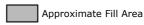
- 3. Contour Interval : 0.5m Design.
- 4. All dimensions and areas are subject to final survey and approval by ICC.
- 5. This plan has been prepared for disclosure under the Land Sales Act 1984.
- 6. This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.

4

16

- This plan shows details of Proposed Lot 19 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

H=0.7m Denotes retaining wall height (H)

AH=0.7m

Denotes retaining wall average height (AH)

I·O ● Denotes depth of fill

Scale 1:300

В	Updated Design Information	DJL	9/10/2025								
Α	Original Issue	GJF	1/09/2025	0m	5	10	15	20	25	30	35
Issue	Revision	Int	Date	OIII	3	10	13	20	23	30	33

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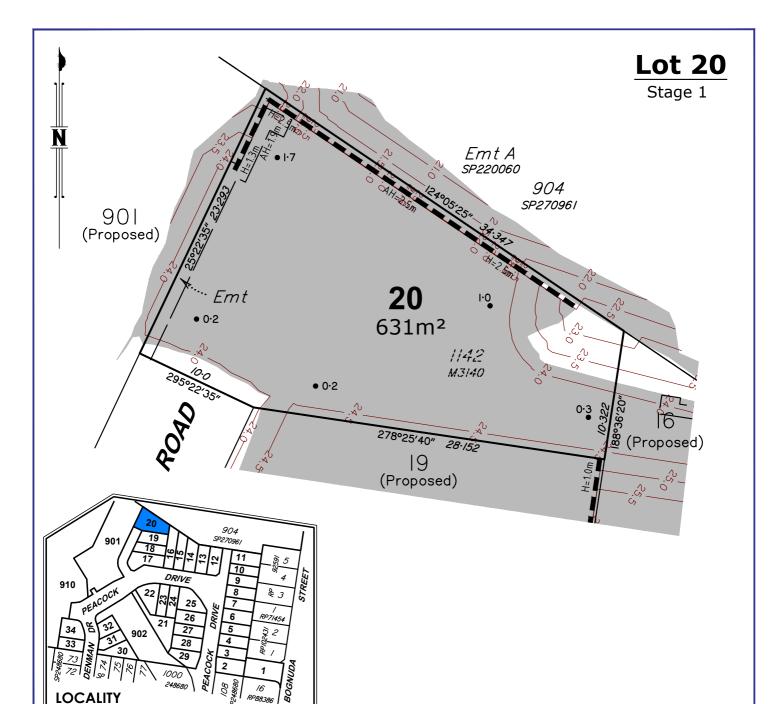
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www.bennettandbennett.com.au

Title: Disclosure Plan for Proposed Lot 19 on SP357820

Bognuda Street, BUNDAMBA, Being Part of Lot 900 on SP270961

Client:	t: TIERRA CONSTRUCTION				
	SERVICES	PTY LTD			
Locality:	BUNDAMBA				
Local Gov:	ICC	Prepared By:	GJF		
Surveyed By:		Approved:	JH		
Date Created:	1/09/2025	Scale:	1:300		
Comp File:	211296.proje	ect			
Plan No:	211296_0	04_DIS			

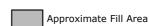


1. Drawn to Scale on A4 sheet.

SCALE 1:4000

- All levels are in metres on Australian Height Datum as determined by PSM60065. RL 30.129m AHD.
- 3. Contour Interval : 0.5m Design.
- 4. All dimensions and areas are subject to final survey and approval by ICC.
- 5. This plan has been prepared for disclosure under the Land Sales Act 1984
- 6. This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 20 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
- 8. The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

Denotes retaining wall average hei

Denotes retaining wall average height (AH)

I·O ● Denotes depth of fill

Scale 1:300

В	Updated Design Information	DJL	9/10/2025								
Α	Original Issue	GJF	1/09/2025	0m	5	10	15	20	25	30	35
Issue	Revision	Int	Date	OIII	5	10	13	20	23	30	33

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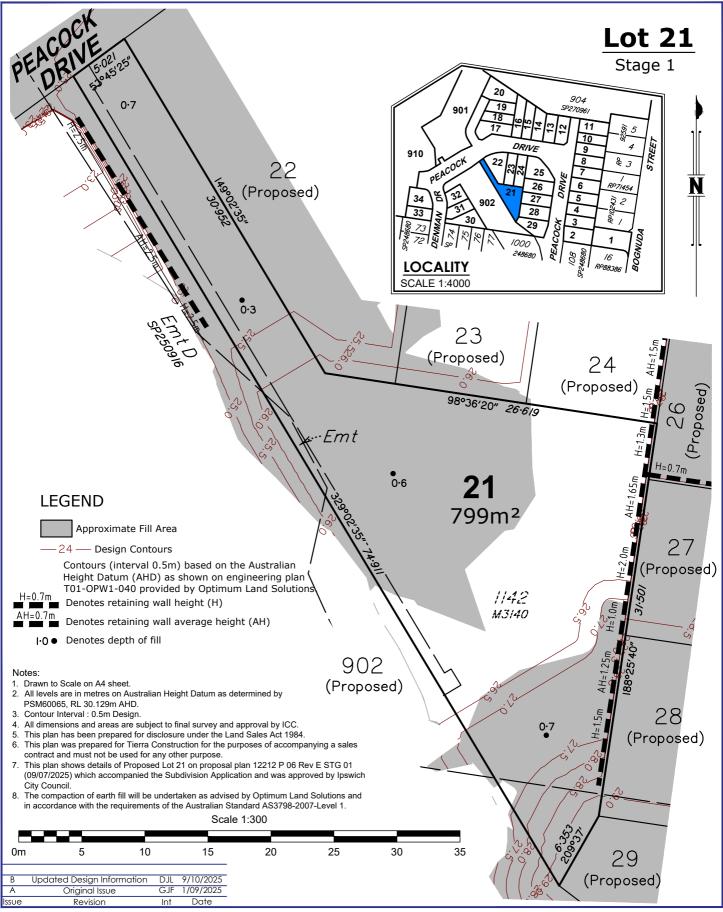
Surveying, Town Planning & Spatial Services
GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

www.bennettandbennett.com.au

Title: Disclosure Plan for Proposed Lot 20 on SP357820

Bognuda Street, BUNDAMBA, Being Part of Lot 900 on SP270961

Client:	TIERRA CONSTRUCTION SERVICES PTY LTD				
Locality:	BUNDAMBA				
Local Gov:	ICC	Prepared By:	GJF		
Surveyed By:		Approved:	JH		
Date Created:	1/09/2025	Scale:	1:300		
Comp File:	211296.proje	ect			
Plan No:	211296_00	04_DIS			





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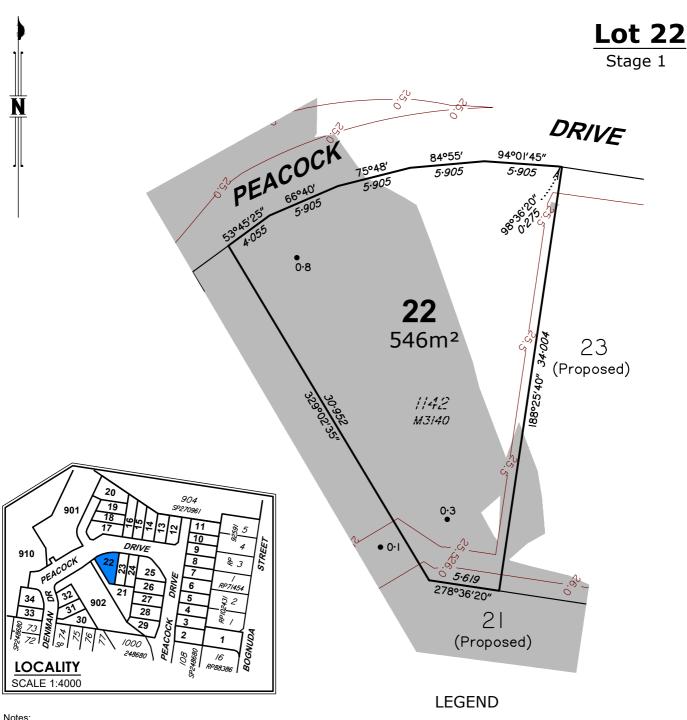
Title: Disclosure Plan for Proposed Lot 21 on SP357820

Bognuda Street, BUNDAMBA, Being Part of Lot 900 on SP270961

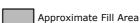
This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client: TIERRA CONSTRUCTION SERVICES PTY LTD

	SERVICES	FITLID	
Locality:	BUNDAMBA		
Local Gov:	ICC	Prepared By:	GJF
Surveyed By:		Approved:	JH
Date Created:	1/09/2025	Scale:	1:300
Comp File:	211296.proje	ct	
Plan No:	211296_00	4_DIS	



- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30.129m AHD.
- 3. Contour Interval: 0.5m Design.
- All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984
- This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 22 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1



−24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

H = 0.7 mDenotes retaining wall height (H) <u>A</u>H<u>=0.</u>7m Denotes retaining wall average height (AH)

I.O ● Denotes depth of fill

							Scale	1.300			
В	Updated Design Information	DJL	9/10/2025								
Α	Original Issue	GJF	1/09/2025	0m	5	10	15	20	25	30	35
Issue	Revision	Int	Date	OIII	J	10	13	20	23	30	33

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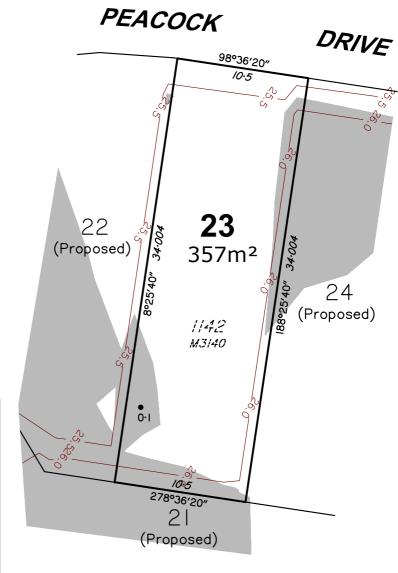
www.bennettandbennett.com.au

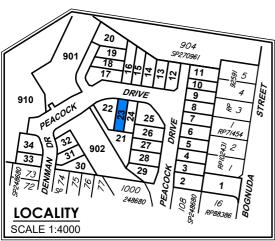
Disclosure Plan for Title: Proposed Lot 22 on SP357820

Bognuda Street, BUNDAMBA, Being Part of Lot 900 on SP270961

Client:	TIERRA CONSTRUCTION SERVICES PTY LTD				
Locality:	BUNDAMBA				
Local Gov:	ICC	Prepared By:	GJF		
Surveyed By:		Approved:	JH		
Date Created:	1/09/2025	Scale:	1:300		
Comp File:	211296.proje	ect			
Plan No:	211296_0	04_DIS			

Lot 23 Stage 1





Notes:

- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30,129m AHD.
- 3. Contour Interval: 0.5m Design.
- All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984
- This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 23 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1

LEGEND



Approximate Fill Area

−24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

Denotes retaining wall average height (AH)

H=0.7m Denotes retaining wall height (H) <u>A</u>H=0.7m

Client:

I.O ● Denotes depth of fill

Scale 1:300

В	Updated Design Information	DJL	9/10/2025							
Α	Original Issue	GJF	1/09/2025	0m		10	15	20	25	30
Issue	Revision	Int	Date	OIII	3	10	13	20	23	30

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Disclosure Plan for Title: Proposed Lot 23 on SP357820

Bognuda Street, BUNDAMBA, Being Part of Lot 900 on SP270961

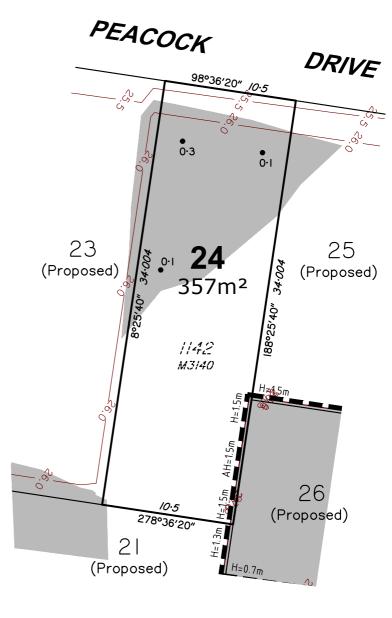
This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

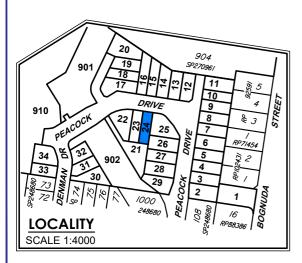
			-
	SERVICES		
Locality:	BUNDAMBA		
Local Gov:	ICC	Prepared By:	GJF
Surveyed By:		Approved:	JH
Date Created:	1/09/2025	Scale:	1:300
Comp File:	211296.proje	ect	
Plan No:	211296_0	04_DIS	

TIERRA CONSTRUCTION

Lot 24

Stage 1





Notes:

- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30,129m AHD.
- 3. Contour Interval: 0.5m Design.
- All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984
- This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 24 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1

LEGEND



Approximate Fill Area

−24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

H=0.7m Denotes retaining wall height (H)

AH=0.7 m Denotes retaining wall average height (AH)

I.O ● Denotes depth of fill

Client:

Scale 1:300

В	Updated Design Information	DJL	9/10/2025	F
Α	Original Issue	GJF	1/09/2025	On
Issue	Revision	Int	Date	OII

10 20 25 30 15 35

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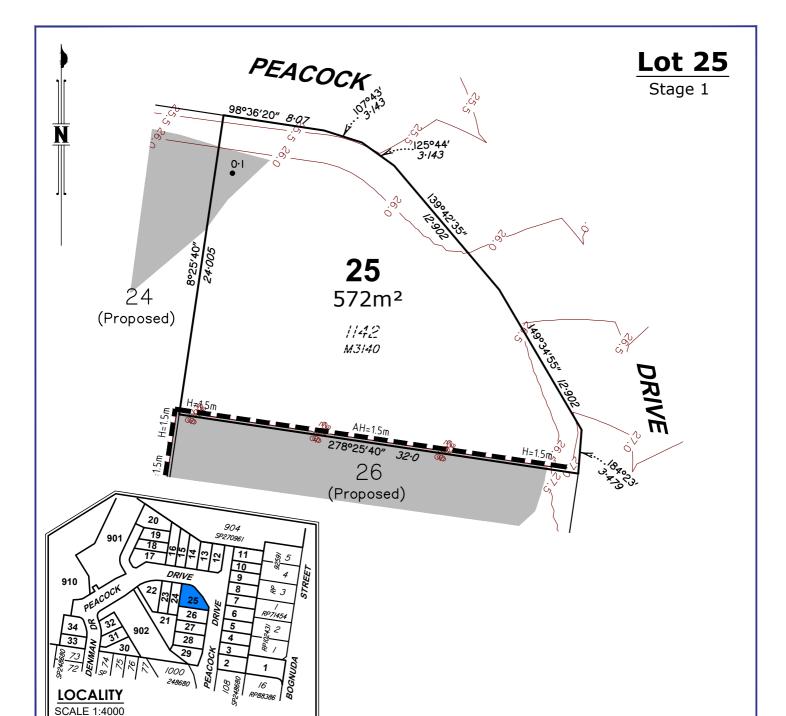
Disclosure Plan for Title: Proposed Lot 24 on SP357820

Bognuda Street, BUNDAMBA, Being Part of Lot 900 on SP270961

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

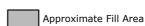
BUNDAMBA ICC	Prepared By:	GJF
ICC	Prepared By:	GIE
	· ·	GUE
	Approved:	JH
1/09/2025	Scale:	1:300
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211296_004	4_DIS	
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TIERRA CONSTRUCTION



- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30.129m AHD.
- 3. Contour Interval: 0.5m Design.
- All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984
- This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 25 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1

LEGEND



−24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

Denotes retaining wall average height (AH)

H = 0.7 mDenotes retaining wall height (H) AH<u>=0.</u>7m

I.O ● Denotes depth of fill

								Scale	1.300			
	В	Updated Design Information	DJL	9/10/2025								
/	A	Original Issue	GJF	1/09/2025	0m	5	10	15	20	25	30	35
Iss	ue	Revision	Int	Date	OIII	3	10	13	20	25	30	55

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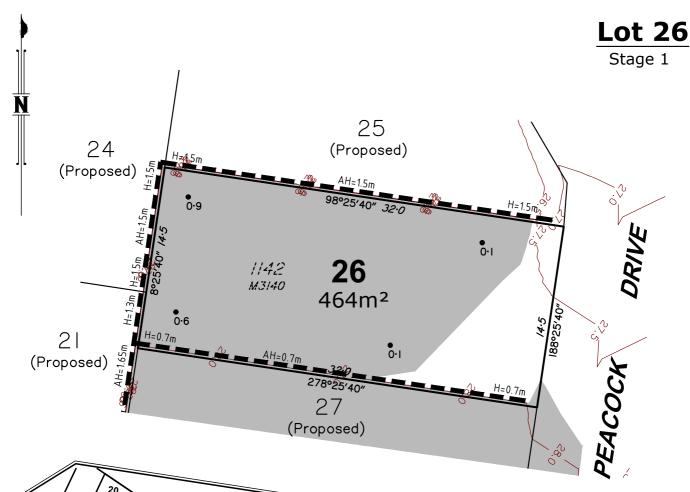
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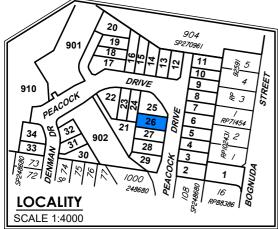
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Disclosure Plan for Title: Proposed Lot 25 on SP357820

Bognuda Street, BUNDAMBA, Being Part of Lot 900 on SP270961

Client:	TIERRA CONSTRUCTION						
	SERVICES	PTY LTD					
Locality:	BUNDAMBA						
Local Gov:	ICC	Prepared By:	GJF				
Surveyed By:		Approved:	JH				
Date Created:	1/09/2025	Scale:	1:300				
Comp File:	211296.project						
Plan No:	211296_004_DIS						





- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30,129m AHD.
- 3. Contour Interval: 0.5m Design.
- All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984
- This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 26 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1

LEGEND



−24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

H = 0.7 mDenotes retaining wall height (H) AH=0.7m

Denotes retaining wall average height (AH)

I.O ● Denotes depth of fill

							Scale	1.300			
В	Updated Design Information	DJL	9/10/2025								
Α	Original Issue	GJF	1/09/2025	0m	5	10	15	20	25	30	35
Issue	Revision	Int	Date	OIII	3	10	13	20	25	30	33

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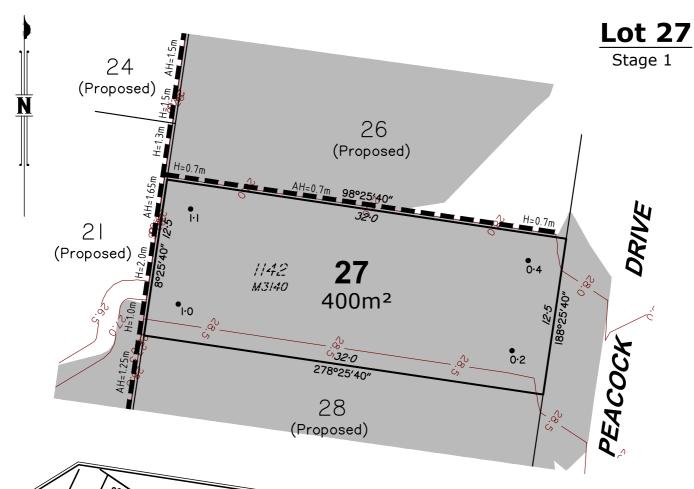
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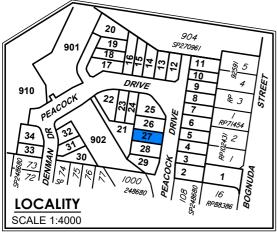
www.bennettandbennett.com.au

Disclosure Plan for Title: Proposed Lot 26 on SP357820

Bognuda Street, BUNDAMBA, Being Part of Lot 900 on SP270961

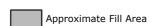
Client:	TIERRA CONSTRUCTION							
	SERVICES PTY LTD							
Locality:	BUNDAMBA							
Local Gov:	ICC	GJF						
Surveyed By:		Approved:	JH					
Date Created:	1/09/2025	Scale:	1:300					
Comp File:	211296.project							
Plan No:	211296_0	04_DIS						





- 1. Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM60065. RL 30.129m AHD.
- 3. Contour Interval : 0.5m Design.
- 4. All dimensions and areas are subject to final survey and approval by ICC.
- 5. This plan has been prepared for disclosure under the Land Sales Act 1984.
- 6. This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 27 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

H=0.7m Denotes retaining wall average his

Denotes retaining wall average height (AH)

I•0 ● Denotes depth of fill

Scale 1:300

В	Updated Design Information	DJL	9/10/2025								
Α	Original Issue	GJF	1/09/2025	0m	5	10	15	20	25	30	35
Issue	Revision	Int	Date	OIII	3	10	13	20	23	30	33

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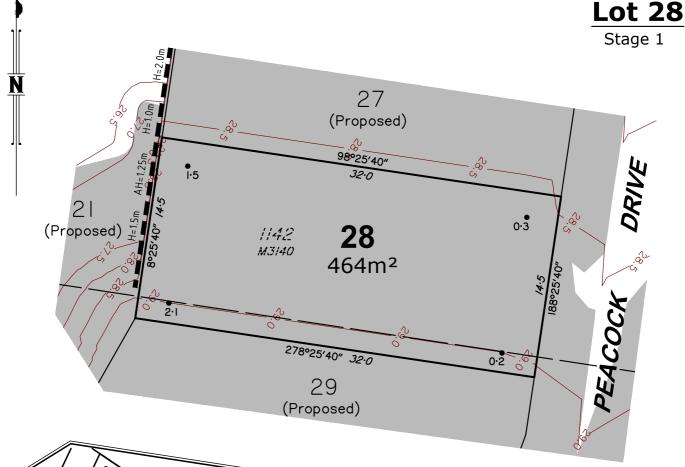
Surveying, Town Planning & Spatial Services
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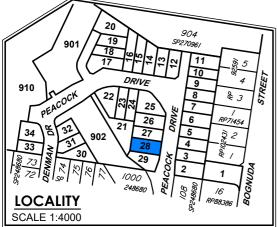
www.bennettandbennett.com.au

Title: Disclosure Plan for Proposed Lot 27 on SP357820

Bognuda Street, BUNDAMBA, Being Part of Lot 900 on SP270961

Client:	TIERRA CONSTRUCTION							
	SERVICES PTY LTD							
Locality:	BUNDAMBA							
Local Gov:	ICC	GJF						
Surveyed By:		Approved:	JH					
Date Created:	1/09/2025	Scale:	1:300					
Comp File:	211296.project							
Plan No:	211296_0	04_DIS						





- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30.129m AHD.
- 3. Contour Interval: 0.5m Design.
- All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984
- This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 28 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1

LEGEND



Approximate Fill Area

−24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

H = 0.7 mDenotes retaining wall height (H) AH=0.7m

Denotes retaining wall average height (AH)

I·O ● Denotes depth of fill

Scale 1:300

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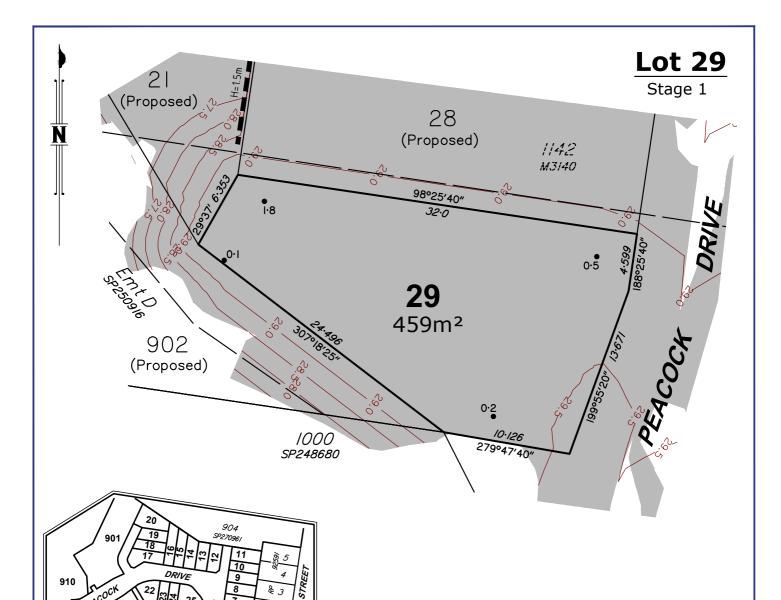
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Disclosure Plan for Title: Proposed Lot 28 on SP357820

Bognuda Street, BUNDAMBA, Being Part of Lot 900 on SP270961

Client:	TIERRA CONSTRUCTION							
	SERVICES PTY LTD							
Locality:	BUNDAMBA							
Local Gov:	ICC	Prepared By:	GJF					
Surveyed By:		Approved:	JH					
Date Created:	1/09/2025	Scale:	1:300					
Comp File:	211296.project							
Plan No:	211296_004_DIS							



Drawn to Scale on A4 sheet.

LOCALITY SCALE 1:4000

All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30,129m AHD.

1000

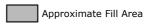
- 3. Contour Interval: 0.5m Design.
- All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984
- This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.

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16

- This plan shows details of Proposed Lot 29 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1

LEGEND



−24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

H = 0.7 mDenotes retaining wall height (H) AH<u>=0.</u>7m

Denotes retaining wall average height (AH)

I.O ● Denotes depth of fill

Scale 1:300

В	Updated Design Information	DJL	9/10/2025								
Α	Original Issue	GJF	1/09/2025	0m	5	10	15	20	25	30	35
Issue	Revision	Int	Date	OIII	3	10	13	20	23	30	33

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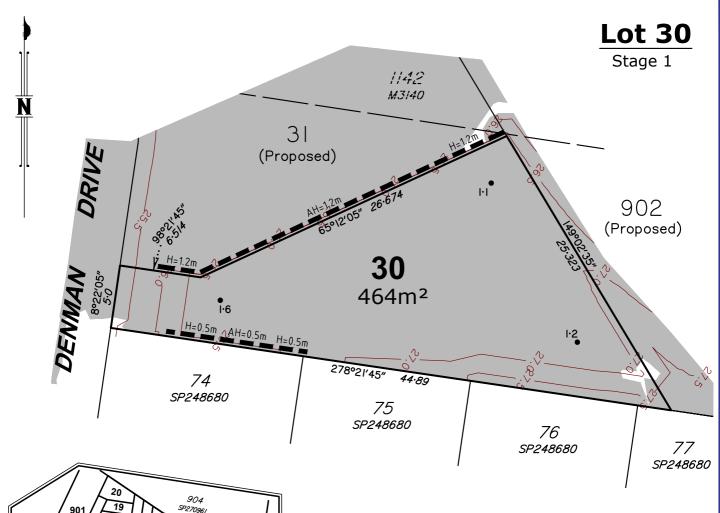
Surveying, Town Planning & Spatial Services GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

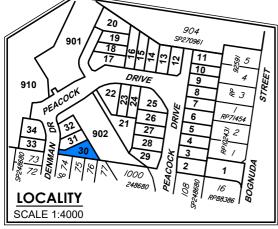
www.bennettandbennett.com.au

Disclosure Plan for Title: Proposed Lot 29 on SP357820

Bognuda Street, BUNDAMBA, Being Part of Lot 900 on SP270961

Client:	TIERRA CONSTRUCTION						
	SERVICES	PTY LTD					
Locality:	BUNDAMBA						
Local Gov:	ICC	Prepared By:	GJF				
Surveyed By:		Approved:	JH				
Date Created:	1/09/2025	Scale:	1:300				
Comp File:	211296.project						
Plan No:	211296_004_DIS						





- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30,129m AHD.
- 3. Contour Interval: 0.5m Design.
- All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984
- This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 30 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1

LEGEND



−24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

H = 0.7 mDenotes retaining wall height (H) AH<u>=0.</u>7m

Denotes retaining wall average height (AH)

I·O ● Denotes depth of fill

Scale 1:300

В	Updated Design Information	DJL	9/10/2025							
Α	Original Issue	GJF	1/09/2025	0m		10	15	20	25	30
Issue	Revision	Int	Date	OIII	3	10	13	20	23	30

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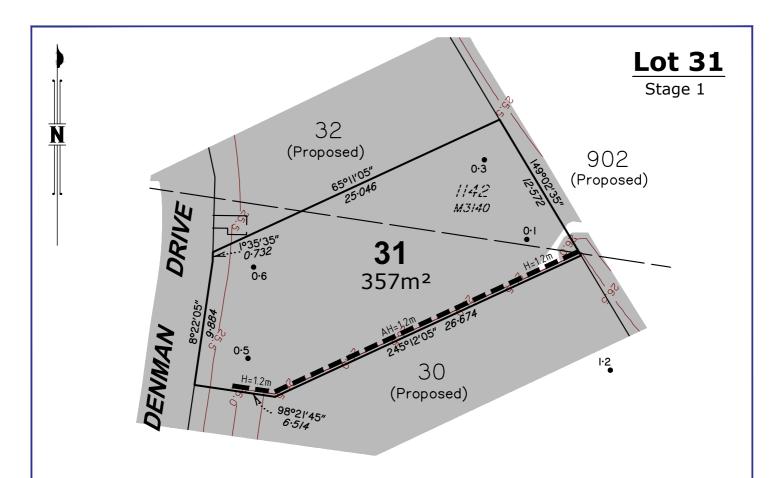
Surveying, Town Planning & Spatial Services GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

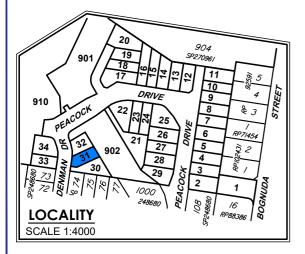
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Disclosure Plan for Title: Proposed Lot 30 on SP357820

Bognuda Street, BUNDAMBA, Being Part of Lot 900 on SP270961

Client:	TIERRA CONSTRUCTION								
	SERVICES PTY LTD								
Locality:	BUNDAMBA								
Local Gov:	ICC	GJF							
Surveyed By:		Approved:	JH						
Date Created:	1/09/2025	Scale:	1:300						
Comp File:	211296.project								
Plan No:	211296_0	04_DIS							





- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30.129m AHD.
- 3. Contour Interval: 0.5m Design.
- All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984
- This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 31 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1

LEGEND



−24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

H = 0.7 mDenotes retaining wall height (H) <u>A</u>H=0.7m

Denotes retaining wall average height (AH)

I.O ● Denotes depth of fill

Scale 1:300

В	Updated Design Information	DJL	9/10/2025								
Α	Original Issue	GJF	1/09/2025	0m	5	10	15	20	25	30	35
Issue	Revision	Int	Date	OIII	J	10	13	20	23	30	33

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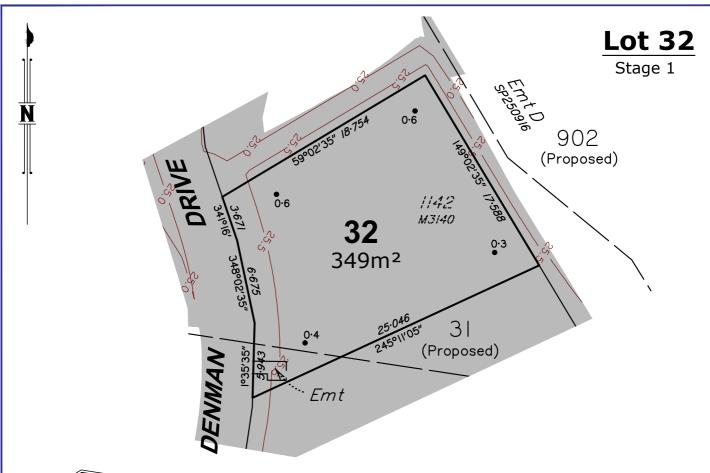
Surveying, Town Planning & Spatial Services GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

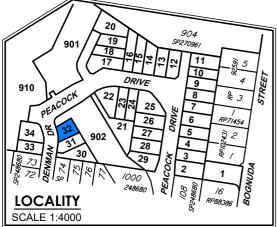
www.bennettandbennett.com.au

Disclosure Plan for Title: Proposed Lot 31 on SP357820

Bognuda Street, BUNDAMBA, Being Part of Lot 900 on SP270961

Client:	TIERRA CONSTRUCTION							
	SERVICES PTY LTD							
Locality:	BUNDAMBA							
Local Gov:	ICC	Prepared By:	GJF					
Surveyed By:		Approved:	JH					
Date Created:	1/09/2025	25 Scale:						
Comp File:	211296.project							
Plan No:	211296_0	04_DIS						





- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30.129m AHD.
- 3. Contour Interval: 0.5m Design.
- All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984
- This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 32 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1

LEGEND



Approximate Fill Area

−24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

H = 0.7 mDenotes retaining wall height (H) <u>A</u>H=0.7m

Denotes retaining wall average height (AH)

I·O ● Denotes depth of fill

Scale 1:300

В	Updated Design Information	DJL	9/10/2025								
Α	Original Issue	GJF	1/09/2025	0m	5	10	15	20	25	30	35
Issue	Revision	Int	Date	OIII	J	10	13	20	23	30	33

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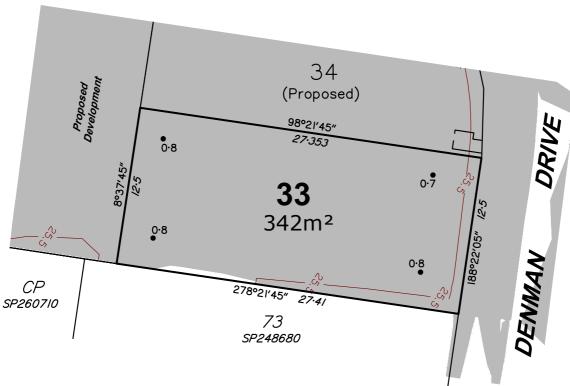
Disclosure Plan for Title: Proposed Lot 32 on SP357820

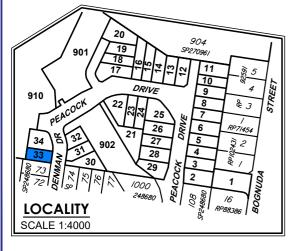
Bognuda Street, BUNDAMBA, Being Part of Lot 900 on SP270961

Client:	TIERRA CONSTRUCTION SERVICES PTY LTD						
Locality:	BUNDAMBA						
Local Gov:	ICC	Prepared By:	GJF				
Surveyed By:		Approved:	JH				
Date Created:	1/09/2025	9/2025 Scale:					
Comp File:	211296.project						
Plan No:	211296_00	04_DIS					

Lot 33

Stage 1





Notes:

- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM60065, RL 30.129m AHD.
- 3. Contour Interval: 0.5m Design.
- All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984
- This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 33 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1

LEGEND



Approximate Fill Area

−24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

H=0.7m Denotes retaining wall height (H) AH=0.7m

Denotes retaining wall average height (AH)

I.O ● Denotes depth of fill

Scale 1:300

В	Updated Design Information	DJL	9/10/2025							
Α	Original Issue	GJF	1/09/2025	0m	5	10	15	20	25	30
Issue	Revision	Int	Date	OIII	3	10	13	20	23	30

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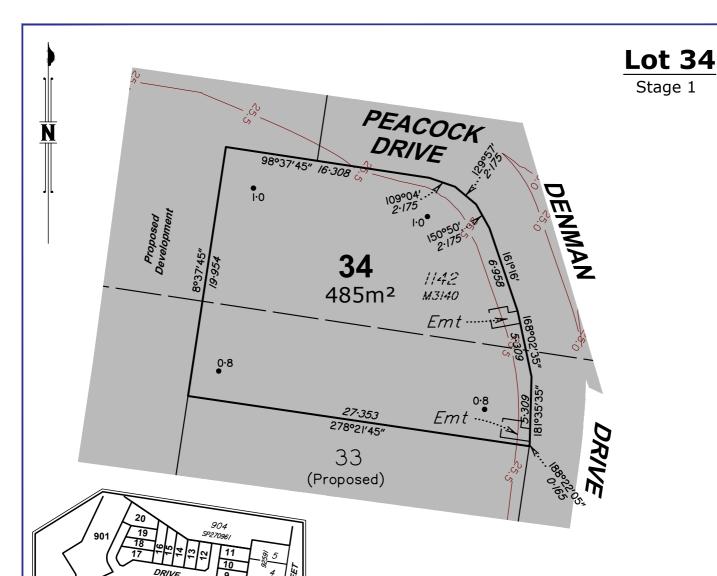
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Disclosure Plan for Title: Proposed Lot 33 on SP357820

Bognuda Street, BUNDAMBA, Being Part of Lot 900 on SP270961

Plan No:	211296_004_DIS						
Comp File:	211296.proje	ect					
Date Created:	1/09/2025	Scale:	1:300				
Surveyed By:		Approved:	JH				
Local Gov:	ICC	Prepared By:	GJF				
Locality:	BUNDAMBA						
Client:	SERVICES PTY LTD						



1. Drawn to Scale on A4 sheet.

SCALE 1:4000

 All levels are in metres on Australian Height Datum as determined by PSM60065. RL 30.129m AHD.

28

1000

- 3. Contour Interval : 0.5m Design.
- 4. All dimensions and areas are subject to final survey and approval by ICC.
- 5. This plan has been prepared for disclosure under the Land Sales Act 1984.
- 6. This plan was prepared for Tierra Construction for the purposes of accompanying a sales contract and must not be used for any other purpose.

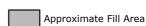
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16

6

- This plan shows details of Proposed Lot 34 on proposal plan 12212 P 06 Rev E STG 01 (09/07/2025) which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by Optimum Land Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan T01-OPW1-040 provided by Optimum Land Solutions.

Denotes retaining wall height (H)

AH=0.7m

Denotes retaining wall average height (AH)

I•0 ● Denotes depth of fill

Client:

−24 — Design Contours

Scale 1:300

В	Updated Design Information	DJL	9/10/2025							
Α	Original Issue	GJF	1/09/2025	0m	5	10	15	20	25	30
Issue	Revision	Int	Date	OIII	J	10	13	20	25	30

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Title: Disclosure Plan for Proposed Lot 34 on SP357820

Bognuda Street, BUNDAMBA, Being Part of Lot 900 on SP270961

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

SERVICES PTY LTD								
Locality:	BUNDAMBA							
Local Gov:	ICC	Prepared By:	GJF					
Surveyed By:		Approved:	JH					
Date Created:	1/09/2025	Scale:	1:300					
Comp File:	211296.projed	ct						
Plan No:	211296_00	4_DIS						

TIERRA CONSTRUCTION